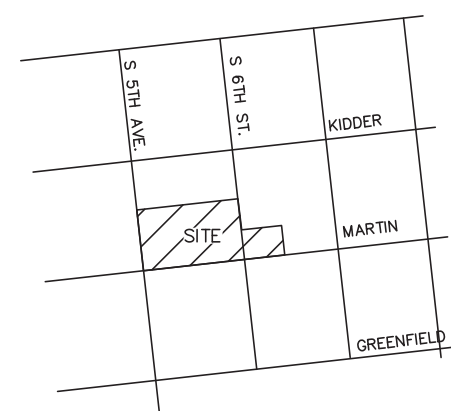


LOCATION MAP



NOT TO SCALE

CONSTRUCTION DRAWINGS for

SEASO

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

RECEIVED
By Jeff Walton at 10:15 am, Dec 12, 2022

GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NUMBERS: PID R05413-040-002-000, R05407-028-002-000, TOTAL PROJECT AREA: 105,823 SF (2.43 AC)
2. EXISTING ZONING DISTRICT: UMX
3. CAMA LAND CLASSIFICATION: URBAN
4. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
5. SITE ADDRESS: 1315 SOUTH 5TH STREET
6. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY GARY W KEYES LAND SURVEYING, PC; VERTICAL DATUM = 88
7. STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC; SW 18-74-(61)
8. LAND OWNER - GREENFIELD GROUP, LLC
213 FAYETTEVILLE STREET
RALEIGH, NC 27601

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE - 0 GPD PROPOSED WATER USAGE - 12,540 GPD
CURRENT SEWER USAGE - 0 GPD PROPOSED SEWER USAGE - 12,540 GPD
418 SEATS X 30 GPD = 12,540 GPD

Approved Construction Plan

Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

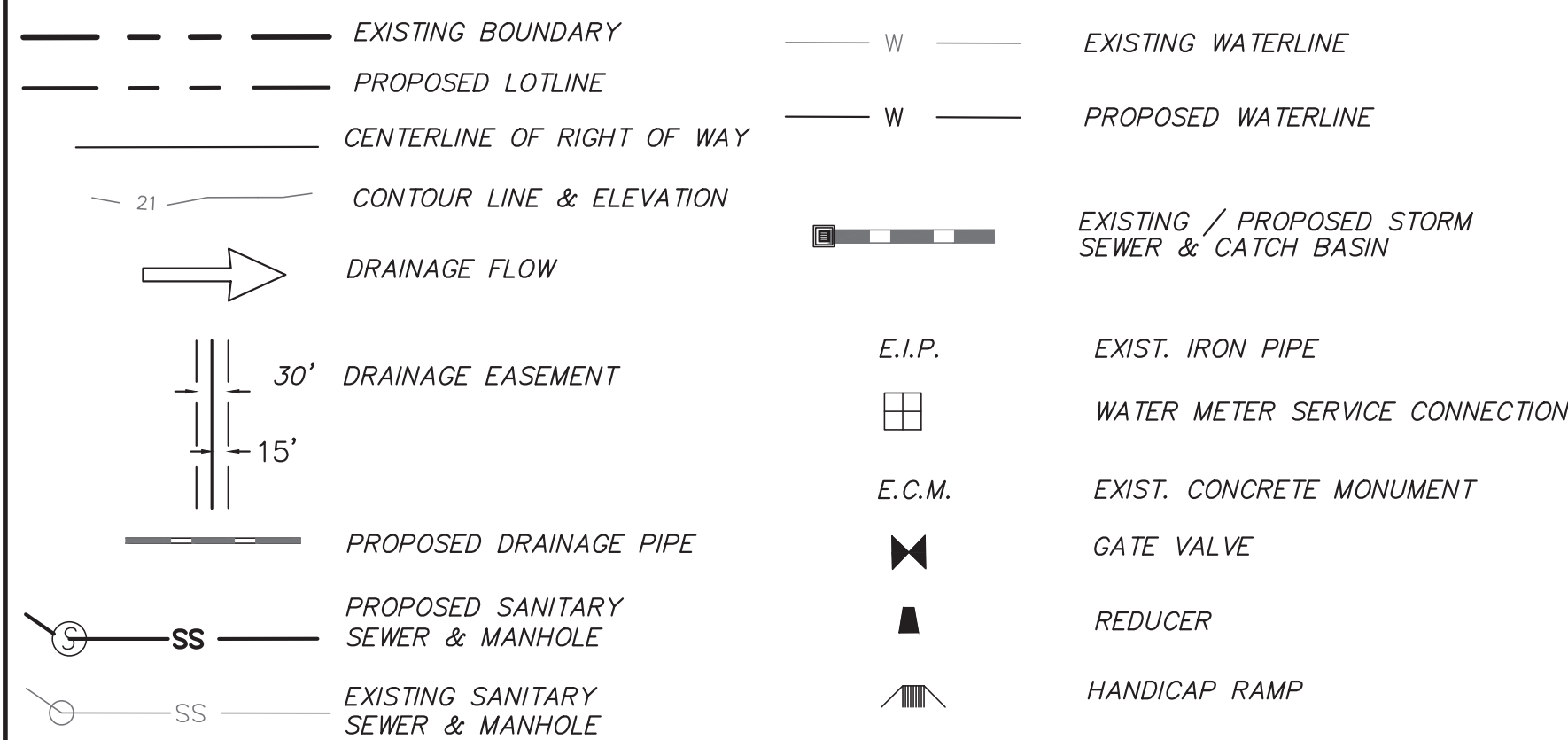


Public Services Engineering Division
APPROVED DRAINAGE PLAN

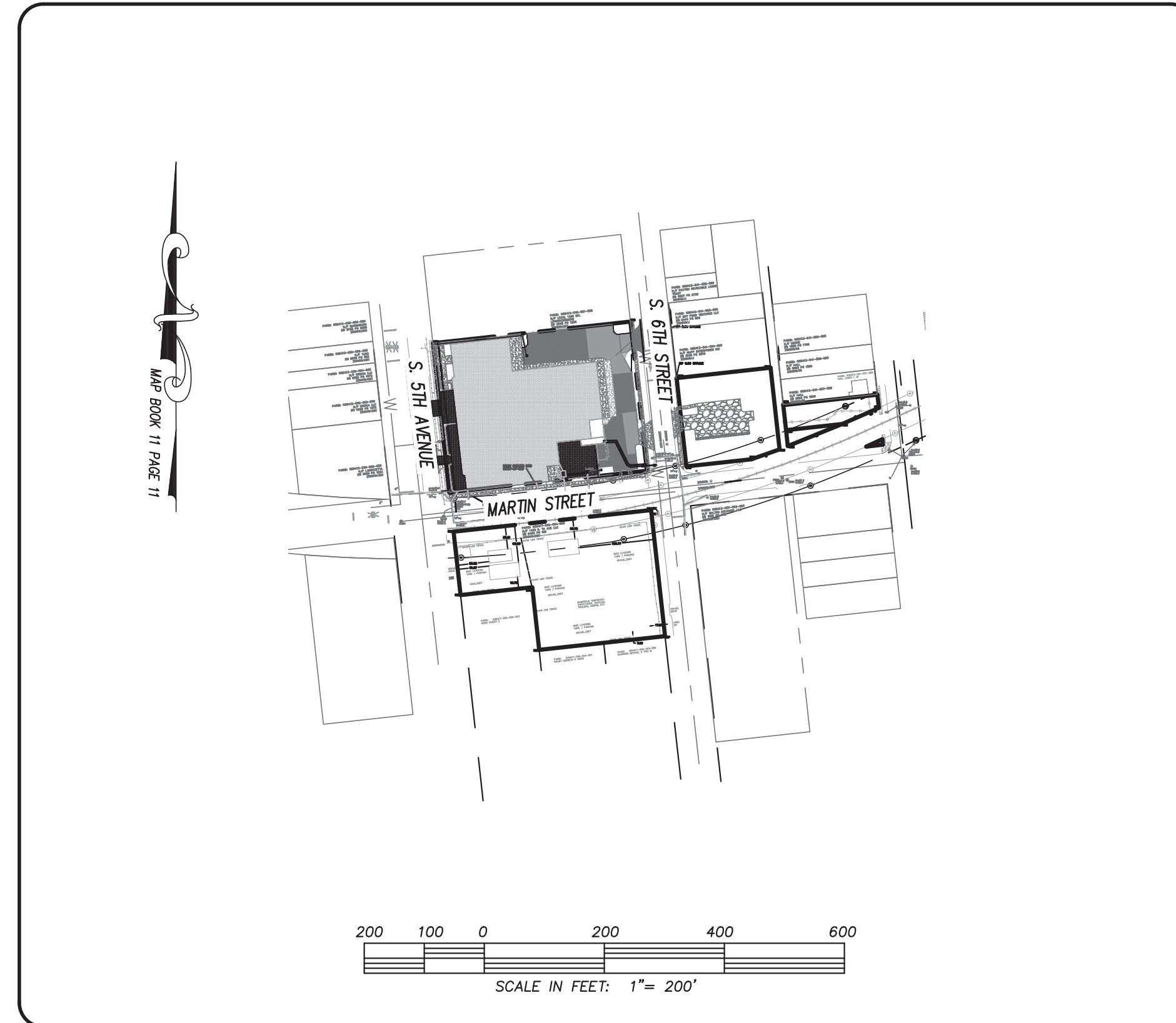
Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND



OWNER: GREENFIELD GROUP, LLC
213 FAYETTEVILLE STREET
RALEIGH, NC 27601



NOTES:

1. ASBUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY: GARY W KEYES LAND SURVEYING, PC; VERTICAL DATUM = 88
2. THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES.
3. THIS PROPERTY IS LOCATED WITHIN ZONE "UMX" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700K, EFFECTIVE DATE 8/28/18
4. EXISTING ZONING: UMX
5. CFPWA WATER
6. CFPWA SEWER
7. ALL CONSTRUCTION TO CONFORM TO NEW HANOVER COUNTY STANDARDS AND APPLICABLE STATE & LOCAL CODES.
8. CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH CITY OF WILMINGTON AND OR NCDOT.
9. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES. ROOF DRAIN DOWNSPOUTS TO BE CONNECTED TO STORM DRAINAGE STUBOUTS OR DIRECTED TO STREET/PARKING AREAS.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
11. CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
12. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
13. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
14. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
15. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
16. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE STREET INLETS AND CATCH BASINS. ALL FUTURE ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM DRAINAGE STUBOUTS.
18. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
19. THIS PLAN IS FOR SITE GRADING, UTILITIES, SITING, AND DRAINAGE ONLY. SEE BUILDING PLANS FOR DETAILED HOOKUPS TO BUILDINGS, ETC.
20. CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATION OF ALL BUILDINGS WITH THE OWNER. ELEVATIONS GIVEN ARE MINIMUM GROUND ELEVATIONS AT THE BUILDING SITE AND DO NOT PURPORT TO BE FINISHED FLOOR. MINIMUM RECOMMENDED FF ELEVATIONS SHOWN ON PLANS.
21. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT.
22. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
23. MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
 - a. HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS AND STORM SEWER.
 - b. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
 - c. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING.
 - d. WHERE VERTICAL CLEARANCE IS LESS THAN 12" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING, AND BRIDGING SHALL BE INSTALLED PER APPLICABLE UTILITY AUTHORITY'S DETAILS.
 - e. IN NO CASE SHALL THERE BE LESS THAN 18" OF SEPARATION BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER OR STORM DRAINAGE.
 - f. MINIMUM COVER OF 36" SHALL BE PROVIDED FOR ALL BURIED WATER MAINS AND SANITARY SEWER MAINS.
24. SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.

INDEX TO DRAWINGS

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 12	COVER SHEET	CD_COVER
2 OF 12	EXISTING BOUNDARY AND TOPOGRAPHY AND TREE SURVEY	EX-COND
3 OF 12	TREE INVENTORY	TREE_OVERLAY
4 OF 12	DEMO PLAN	TREE_OVERLAY
5 OF 12	OVERALL SITE PLAN	SITE_PLAN_OVERALL
6 OF 12	SITE PLAN	SITE_PLAN
7 OF 12	GRADING PLAN	GRADING
8 OF 12	UTILITY PLAN	GRADING
9 OF 12	SITE DETAILS	SITE_DETAILS_1
10 OF 12	SITE DETAILS	SITE_DETAILS_2
11 OF 12	UTILITY DETAILS	SITE_DETAILS_1
12 OF 12	UTILITY DETAILS	SITE_DETAILS_2
DA OF DA	DRAINAGE AREAS	DA
1 OF 1	LANDSCAPE PLAN	LP



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

COVER SHEET
SEASO

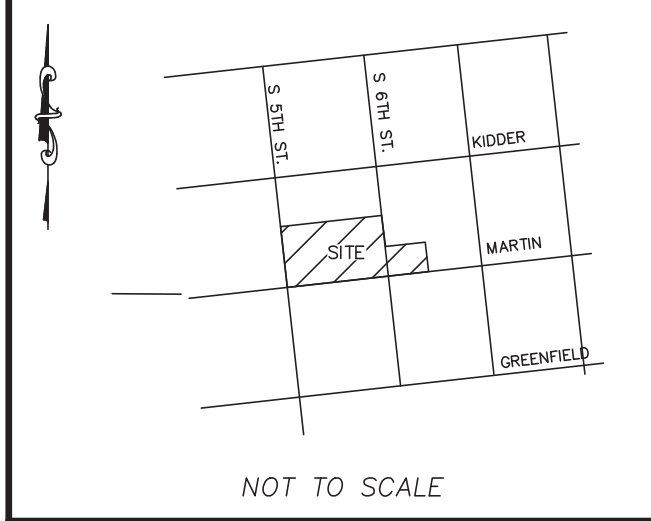
COVER SHEET
SEASO
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
GREENFIELD GROUP, LLC
213 FAYETTEVILLE STREET
RALEIGH, NC 27601

REV.	NO.	DATE	REMARKS
1	1	11-09-21	
2	1	4-20-22	REVISED ENTRANCE AND SHEET NUMBERS CONSTRUCTION RELEASE

DATE: 11-09-21
 HORZ SCALE: 1" = 200'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 21-0545

LOCATION MAP



NOT TO SCALE

LEGEND

- EXISTING BOUNDARY
- ▨ EX BUILDING
- ▨ EX COW SIDEWALK
- ▨ EX DRIVEWAY
- ▨ EX ONSITE IMPERVIOUS (ASPHALT OR CONCRETE)
- W --- EXISTING WATER
- SS --- EXISTING SEWER
- ⊕ EXISTING FIRE HYDRANT
- EXISTING CONTOUR
- EXISTING STORM DRAIN

KEYNOTES:

- 1 EXISTING SIDEWALK
- 2 EXISTING CURB AND GUTTER
- 3 EXISTING DRIVEWAY
- 4 EXISTING BUILDING
- 5 EXISTING WATER MAIN
- 6 EXISTING SEWER MAIN
- 7 EXISTING POWER POLE
- 8 EXISTING STREET LIGHT
- 9 EXISTING RR SIGN
- 10 EXISTING WATER METER
- 11 EXISTING CHAIN LINK FENCE
- 12 EXISTING NO PARKING SIGN
- 13 EXISTING BUS STOP SIGN
- 14 EXISTING STOP SIGN
- 15 EXISTING FIRE HYDRANT

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS:
PID R05413-040-002-000, R05407-028-002-000,
TOTAL PROJECT AREA: 105,823 SF (2.43 AC)
- EXISTING ZONING DISTRICT: UMX
- CAMA LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
- SITE ADDRESS: 1315 SOUTH 5TH STREET
- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY GARY W KEYES LAND SURVEYING, PC; VERTICAL DATUM = 88
- STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC; SW 18-74-(61)
- LAND OWNER - GREENFIELD GROUP, LLC
4509 CREEDMOORE ROAD SUITE 302
RALEIGH, NC 27612

SITE & BUILDING DATA:

TOTAL LOT AREA = 105,823 SF (2.43 AC)

EXISTING IMPERVIOUS:

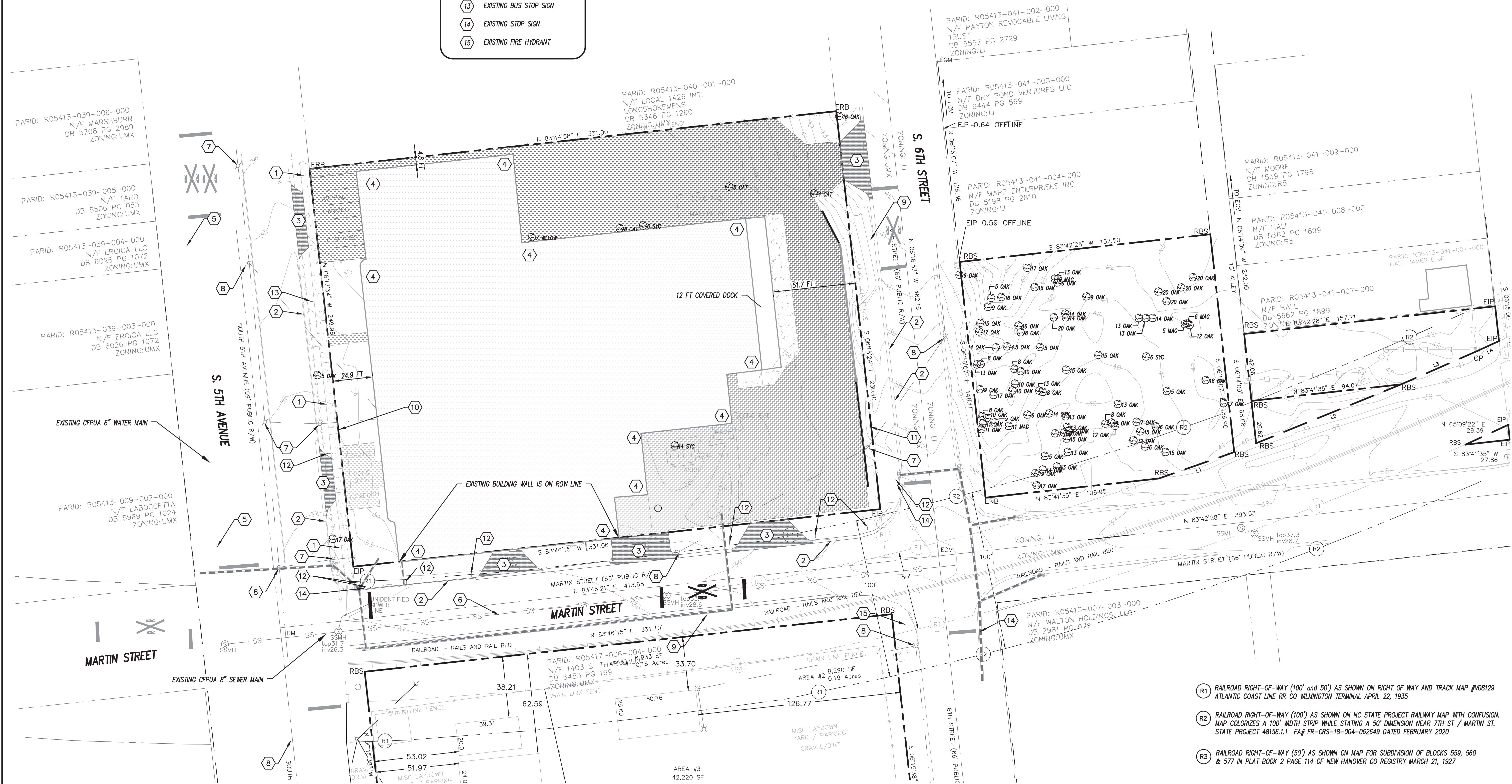
BUILDING	=	46,255 SF
ASPHALT	=	22,752 SF
CONCRETE	=	6,714 SF
SIDEWALK	=	696 SF
TOTAL:	=	77,115 SF

77,115 / 105,823 = 0.729 OR 73% IMPERVIOUS

SOILS ONSITE BH (BAYMEADE-URBAN)
BH - SCS SOIL GROUP "A"

SETBACKS:

	REQUIRED	PROVIDED
FRONT	NONE	24.9 FT
SIDE	NONE	4.8 FT - NORTH, 0 FT SOUTH
REAR	NONE	51.7 FT



EXISTING CONDITIONS FOR
SEASO

EXISTING CONDITIONS FOR
SEASO
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
GREENFIELD GROUP, LLC
913 CAPE FEAR RIVER STREET
RALEIGH, NC 27601

REV. NO.	DATE	BY	REMARKS
1	11-09-21	RLW	DATE: 11-09-21
2	11-09-21	RLW	HORIZ. SCALE: 1" = 30'
3	11-09-21	RLW	VERT. SCALE: N/A
4	11-09-21	RLW	DRAWN BY: RLW
5	11-09-21	RLW	CHECKED BY: HSR
6	11-09-21	RLW	PROJECT NO.: 20-0515

REV. NO.	DATE	BY	REMARKS
1	11-09-21	RLW	DATE: 11-09-21
2	11-09-21	RLW	HORIZ. SCALE: 1" = 30'
3	11-09-21	RLW	VERT. SCALE: N/A
4	11-09-21	RLW	DRAWN BY: RLW
5	11-09-21	RLW	CHECKED BY: HSR
6	11-09-21	RLW	PROJECT NO.: 20-0515

DATE: 11-09-21

HORIZ. SCALE: 1" = 30'

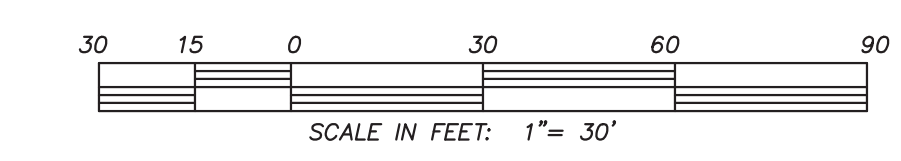
VERT. SCALE: N/A

DRAWN BY: RLW

CHECKED BY: HSR

PROJECT NO.: 20-0515

Sheet No. **2** of **12**



- (R1) RAILROAD RIGHT-OF-WAY (100' and 50') AS SHOWN ON RIGHT OF WAY AND TRACK MAP #V08129 ATLANTIC COAST LINE RR CO WILMINGTON TERMINAL APRIL 22, 1935
- (R2) RAILROAD RIGHT-OF-WAY (100') AS SHOWN ON NC STATE PROJECT RAILWAY MAP WITH CONFUSION. MAP COLORIZES A 100' WIDTH STRIP WHILE STATING A 50' DIMENSION NEAR 7TH ST / MARTIN ST. STATE PROJECT 48156.1.1 FA# FR-CRS-18-004-062649 DATED FEBRUARY 2020
- (R3) RAILROAD RIGHT-OF-WAY (50') AS SHOWN ON MAP FOR SUBDIVISION OF BLOCKS 559, 560 & 577 IN PLAT BOOK 2 PAGE 114 OF NEW HANOVER CO REGISTRY MARCH 21, 1927

TREES TO REMAIN

Point Table		Point Table		Point Table	
Point #	Raw Description	Point #	Raw Description	Point #	Raw Description
1	17 OAK	36	11 MAG	61	8 OAK
2	6 MAG	37	9 OAK	62	5 OAK
3	6 OAK	38	11 OAK	63	18 OAK
4	13 OAK	39	11 OAK	64	17 OAK
5	9 OAK	40	10 OAK	66	20 OAK
6	14 OAK	46	9 OAK	67	20 OAK
7	14 OAK	47	13 OAK	68	20 OAK
8	20 OAK	48	5 OAK	69	20 OAK
11	16 OAK	49	13 OAK	70	6 MAG
12	5 OAK	50	14 OAK	71	5 MAG
13	9 OAK	51	19 OAK	72	12 OAK
14	15 OAK	52	17 OAK	73	14 OAK
15	17 OAK	53	15 OAK	74	13 OAK
16	14 OAK	54	6 OAK	75	13 OAK
17	4.5 OAK	55	32 OAK	76	16 OAK
31	13 OAK	56	15 OAK	77	14 SYC
32	13 OAK	57	6 OAK	78	17 OAK
33	15 OAK	58	7 OAK	79	5 OAK
34	7 OAK	59	12 OAK	85	16 OAK
35	7 OAK	60	9 OAK		

TREES FOR REMOVAL

Point Table		Point Table	
Point #	Raw Description	Point #	Raw Description
9	16 OAK	80	7 WILLOW
10	8 OAK	81	8 CAT
18	5 OAK	82	6 SYC
19	8 OAK	83	5 CAT
20	10 OAK	84	4 CAT
21	10 OAK		
22	10 OAK		
23	13 OAK		
24	8 OAK		
25	15 OAK		
26	15 OAK		
27	13 OAK		
28	13 OAK		
29	14 OAK		
30	6 OAK		
42	17 OAK		
43	9 OAK		
44	8 OAK		
45	13 OAK		
65	6 SYC		



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

TREE INVENTORY
SEASO

TREE INVENTORY for
SEASO
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER:
GREENFIELD GROUP, LLC
913 PATE LANE, 5TH FLOOR
RALEIGH, NC 27601

REV. NO.	REMARKS	BY	DATE
3	REVISED SHEET NUMBER	RLW	8-22-22
2	CONSTRUCTION RELEASE	RLW	4-20-22
1	REVISED PER TRC COMMENTS	RLW	1-11-22

DATE: 11-09-21
HORIZ. SCALE: N/A
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 20-0515

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

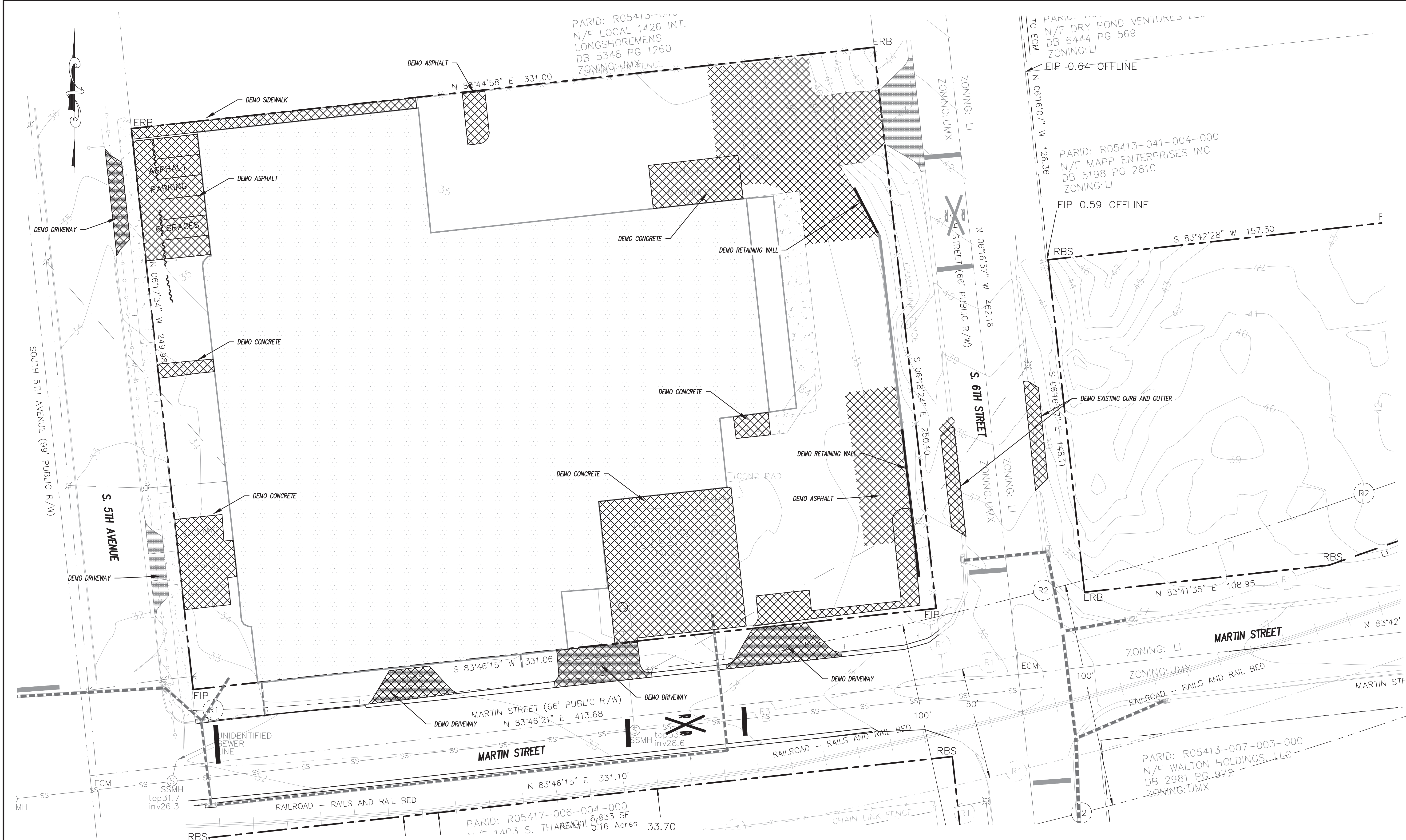
Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



PARID: R05413-010
 N/F LOCAL 1426 INT.
 LONGSHOREMENS
 DB 5348 PG 1260
 ZONING: UMX

PARID: R05413-041-004-000
 N/F MAPP ENTERPRISES INC
 DB 5198 PG 2810
 ZONING: LI

PARID: R05413-007-003-000
 N/F WALTON HOLDINGS, LLC
 DB 2981 PG 972
 ZONING: UMX

PARID: R05417-006-004-000
 N/F 1403 S. THAR...
 0.16 Acres
 33.70

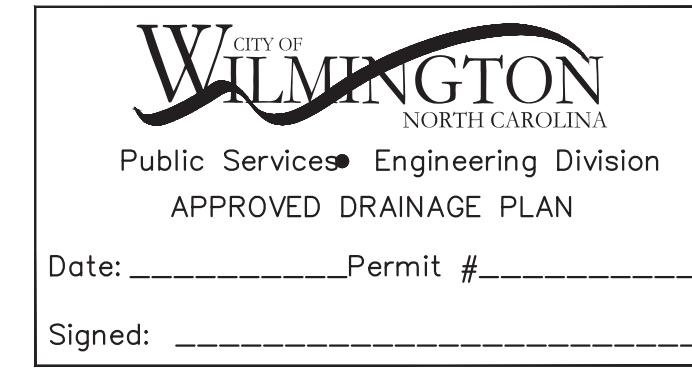
Approved Construction Plan

Name _____ Date _____

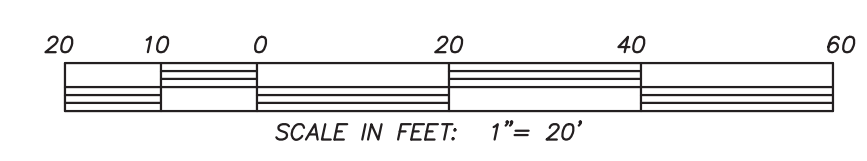
Planning _____

Traffic _____

Fire _____



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



CSD ENGINEERING

LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

DEMO PLAN
SEASO

The work was prepared by CSD ENGINEERING, with an office located at 1000 North 10th Street, Suite 200, Wilmington, NC 28406. The work was prepared for the City of Wilmington, North Carolina. The work was prepared for the City of Wilmington, North Carolina. The work was prepared for the City of Wilmington, North Carolina.

DEMO PLAN
SEASO

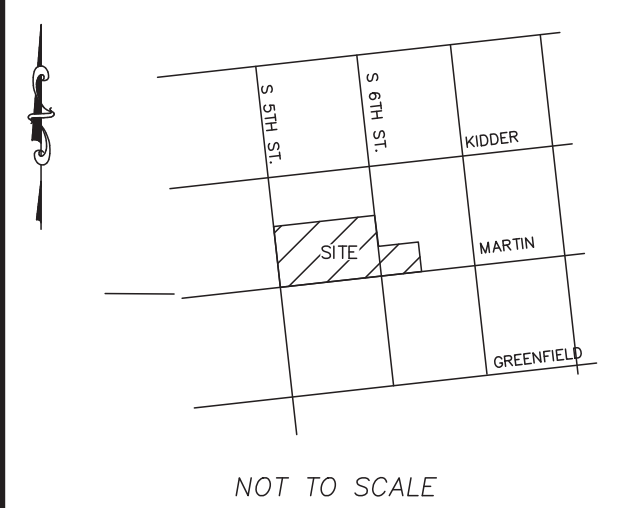
LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
 GREENFIELD GROUP, LLC
 913 FAIRVIEW LANE, STREET
 RALEIGH, NC 27601

REV. NO.	REMARKS	BY	DATE
3	REVISED DEMO AREA, SHEET NUMBER	RLW	8-22-22
2	CONSTRUCTION RELEASE	RLW	4-20-22
1	REVISED PER TRC COMMENTS	RLW	1-11-22

DATE: 11-09-21
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 20-0515

LOCATION MAP



NOT TO SCALE

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION, 910-343-0696.
- ALL FDC LOCATIONS TO BE SHOWN ON FINAL PLAN.
- FDC MUST BE ON THE FRONT OF THE BUILDING(S) UNLESS OTHERWISE APPROVED.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CPPIA STANDARDS.
- WATER FLOW ANALYSIS WILL BE REQUIRED TO DETERMINE THE CORRECT MAIN SIZE TO MEET FIRE FLOW DEMAND.
- NEW HYDRANTS TO BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- CONTRACTOR SHALL SUBMIT A RADIO STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- FIRE INSTALLATION TO MEET NFPA 24
- ALL ISOLATION VALVES WITHIN THE HOT BOX AND BETWEEN THE HOT BOX AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.

DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE DUMPSTER CORRALS
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- STREET TREES MUST BE LOCATED A MINIMUM OF 15 FEET FROM STREET LIGHTS.

ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO TIE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE - 0 GPD PROPOSED WATER USAGE - 46,080 GPD
 CURRENT SEWER USAGE - 0 GPD PROPOSED SEWER USAGE - 46,080 GPD
 192 UNITS X 240 GPD = 46,080 GPD

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPPIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPPIA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPPIA AND APPROVED BY USCFCCOR OR ASSE. CALL 799-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- 36" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPPIA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO MCDENR AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE ROW.

TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-14.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 - SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 - OPEN CUT TO BE SAW CUT.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.

GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS:
 PID R05413-040-002-000, R05407-028-002-000,
 TOTAL PROJECT AREA: 105,823 SF (2.43 AC)
- EXISTING ZONING DISTRICT: UMX
- CAMA LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 6/28/18
- SITE ADDRESS: 1315 SOUTH 5TH STREET
- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD BY ENGINEERING BY GARY W KEYES LAND SURVEYING, PC; VERTICAL DATUM = 88
- STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC; SW 18-74-(61)
- LAND OWNER - GREENFIELD GROUP, LLC
 315 FAYETTEVILLE STREET
 RALEIGH, NC 27601

SITE & BUILDING DATA:

TOTAL LOT AREA = 105,823 SF (2.43 AC)
 PROP. IMPERVIOUS:

EX. BUILDING	= 46,255 SF
EX. ASPHALT	= 17,267 SF
*CONCRETE	= 1,231 SF
BUILDING ADDITION	= 1,082 SF
PROP PAVERS	= 4,102 SF
PROP CONCRETE	= 3,942 SF
*PAVERS	= 3,780 SF
PROP SIDEWALK	= 236 SF
TOTAL:	= 77,895 SF

77,895 / 105,823 = 0.736 OR 74% IMPERVIOUS
 5,694 SF OF PERVIOUS GRAVEL PARKING

*AREAS ARE BEING CONSIDERED MAINTENANCE OF THE EXISTING IMPERVIOUS ONSITE.
 EXISTING SITE IMPERVIOUS BEFORE PROPOSED IMPROVEMENTS = 77,115 SF
 SITE IMPERVIOUS AFTER PROPOSED IMPROVEMENTS = 77,895 SF
 AN OVERALL INCREASE IN IMPERVIOUS BY 780 SF

OFFSITE IMPERVIOUS
 3,264 SF OF SIDEWALK LOCATED IN CITY ROW
 523 SF OF DRIVE APRON FOR GRAVEL LOT
 780 SF OF DRIVE APRON FOR NEW ENTRANCE ACROSS FROM GRAVEL LOT
 SOILS ONSITE: BH (BAYMEADE-URBAN)
 BH - SCS SOIL GROUP "A"

SETBACKS:

REQUIRED	PROVIDED
FRONT	NONE 24.9 FT
SIDE	NONE 4.8 FT- NORTH, 0 FT SOUTH
REAR	NONE 51.7 FT

BUILDING HEIGHT = +/- 29 FT
 NUMBER OF STORIES = 1
 BUILDING TYPE = 2B

BUILDING USE = MIXED USE
 BUILDING AREA: 46,255 SF (FOOTPRINT)
 LOT COVERAGE: 46,255 SF / 82,770 SF = 0.559
 PROPOSED 56% BUILDING LOT COVERAGE

PROPOSED USES:

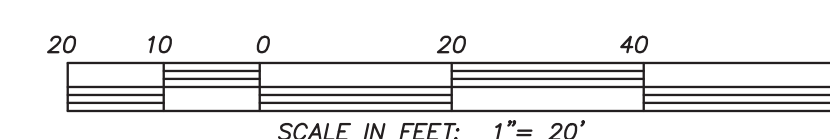
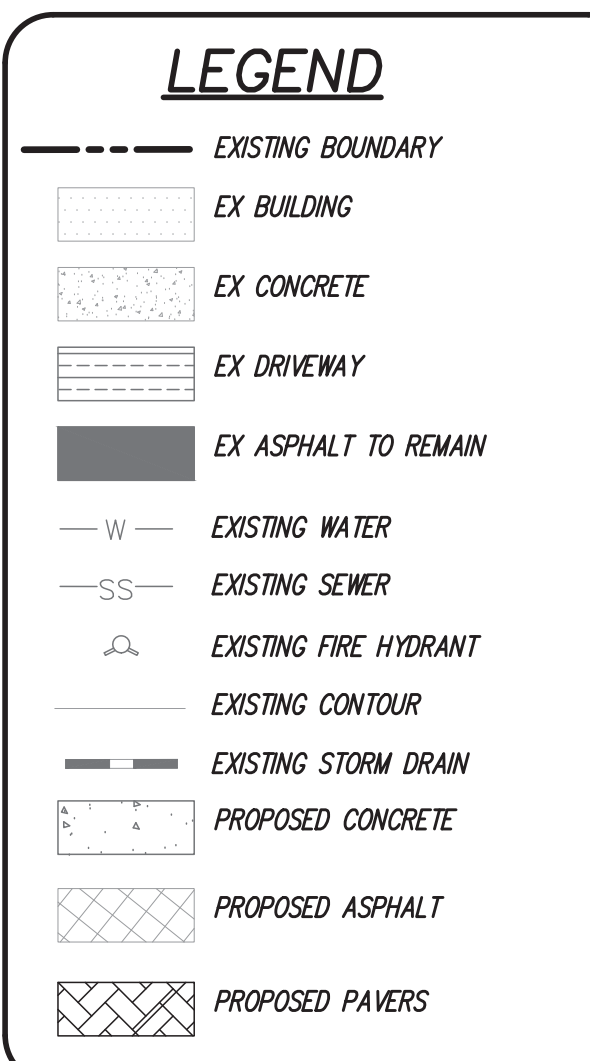
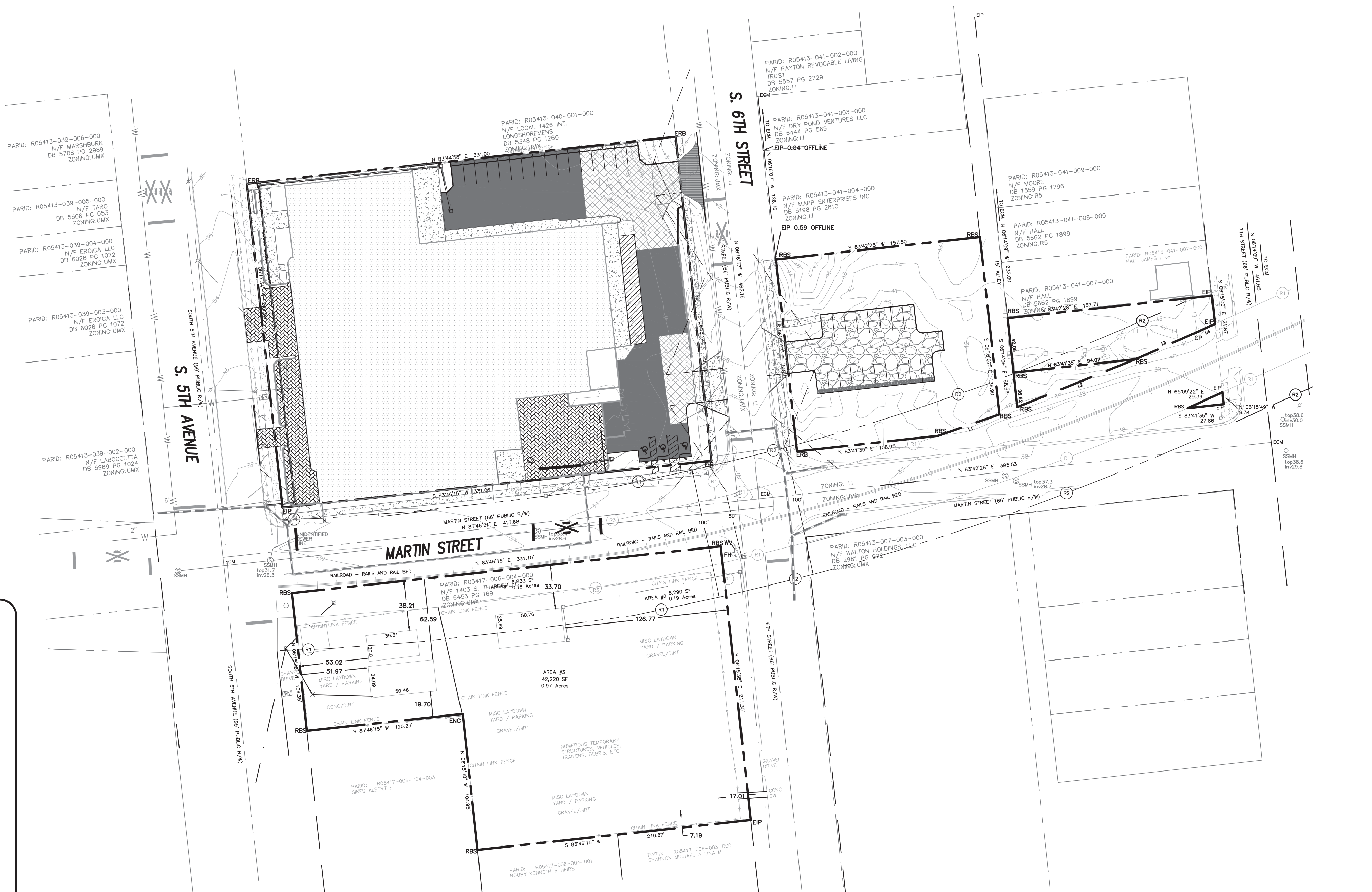
FOOD HALL AND BOILER ROOM:	16,285 SF
COMMISARY KITCHEN:	6,193 SF
MUSIC HALL:	16,570 SF
RADIO STATION:	2,179 SF
RETAIL:	2,921 SF

TRIP ESTIMATION

- 4,671 SF - LUC 110 (GENERAL LIGHT INDUSTRIAL)
 AM = 4 PM = 0
- 2,643 SF - LUC 715 (SINGLE TENANT OFFICE)
 AM = 4 PM = 1
- 2,416 SF - LUC 820 (RETAIL)
 AM = 1 PM = 4
- 11,772 SF - LUC 932 (HIGH TURNOVER SIT DOWN RESTAURANT)
 AM = - PM = 107

PARKING NOTES:

- NO PARKING REQUIRED IN UMX ZONING
- RESTAURANT MAX = 16,285 / 65 = 250
- RESTAURANT MIN = 16,285 / 80 = 204
- ASSEMBLY HALL MAX = 16,570 / 250 = 66
- ASSEMBLY HALL MIN = 16,570 / 400 = 41
- RETAIL MAX = 2,921 / 200 = 15
- RETAIL MIN = 2,921 / 400 = 7
- OFFICE (PROFESSIONAL) MAX = 2,179 / 200 = 11
- OFFICE (PROFESSIONAL) MIN = 2,179 / 300 = 7
- PARKING PROVIDED = 48 SPACES
- 2 HANDICAP SPACES REQUIRED, 3 PROVIDED
- BIKE PARKING REQUIRED
 1 SPACE PER 1,000 SF OF A
 46.3 SPACES REQUIRED
 50 PROVIDED



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

DATE: 11-09-21
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 20-0515

City of WILMINGTON
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

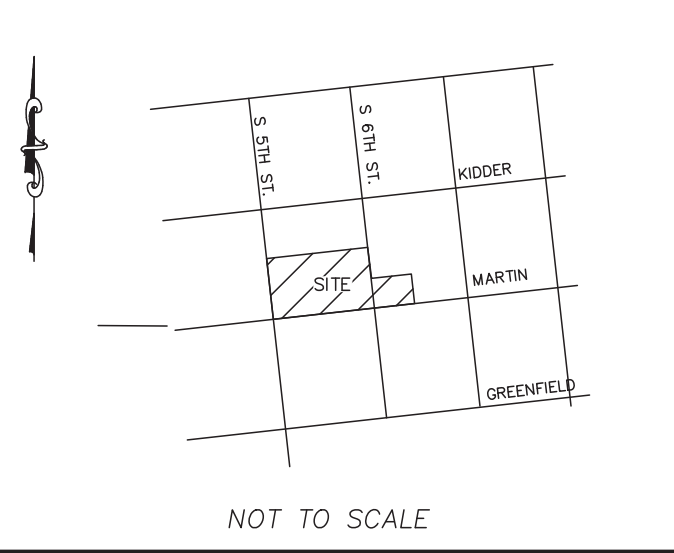
SITE PLAN FOR
SEASO

SITE PLAN for
SEASO
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
 GREENFIELD GROUP, LLC
 915 FAYETTEVILLE STREET
 RALEIGH, NC 27601

REV. NO.	BY	DATE	REMARKS
1	RLW	11-09-21	REVISED PER TRC COMMENTS
2	RLW	11-09-21	ADDED SIDEWALK TO GRAVEL LOT
3	RLW	11-09-21	COW CONSTRUCTION RELEASE
4	RLW	11-09-21	ADDED SECOND ENTRANCE ON 6TH ST. REVISED SHEET NUMBER
5	RLW	11-09-21	REVISED HC PARKING COUNT

LOCATION MAP



LEGEND

- EXISTING BOUNDARY
EX BUILDING
EX CONCRETE
EX DRIVEWAY
EX ASPHALT TO REMAIN
EXISTING WATER
EXISTING SEWER
EXISTING FIRE HYDRANT
EXISTING CONTOUR
EXISTING STORM DRAIN
PROPOSED CONCRETE
PROPOSED ASPHALT (INSTALLED OVER EXISTING)
PROPOSED PAVERS
MARTIN STREET DEMO.

KEYNOTES:

- 1 EXISTING SIDEWALK
2 EXISTING CURB AND GUTTER
3 EXISTING DRIVEWAY
4 PROPOSED SIDEWALK
5 PROPOSED PAVERS
6 SAW CUT EXISTING ASPHALT
7 PROPOSED ASPHALT
8 PROPOSED CURB AND GUTTER
9 EXISTING STORM DRAIN
10 EXISTING SEWER MANHOLE
11 PREVIOUS GRAVEL PARKING LOT
12 EX. "NO PARKING" SIGN
13 EX. "BUS STOP" SIGN
14 RETRO FIT HC RAMP WITH FLEXIBLE SURFACE APPLIED WARNING MAT
15 20 X 70 SIGHT TRIANGLE
16 46 X 46 SIGHT TRIANGLE
17 ACCESSIBLE PARKING SIGNS
18 WHEEL STOPS
19 FDC
20 ELECTRICAL TRANSFORMERS
21 ROLL OUT DUMPSTER LOCATION
22 TIMBERS ALONG EDGE OF ASPHALT
23 6" X 6" CUT IN TEE 6" GATE VALVES
24 6" DELINEATION VALVE
25 6" FIRE LINE
26 GREASE INTERCEPTOR (DESIGN BY OTHERS)
27 6" SEWER LATERAL
28 SEWER CLEANOUT
29 EXISTING 4" LATERAL
30 CORE EXISTING SSMH FOR NEW 6" LATERAL EX. PP
31

Approved Construction Plan

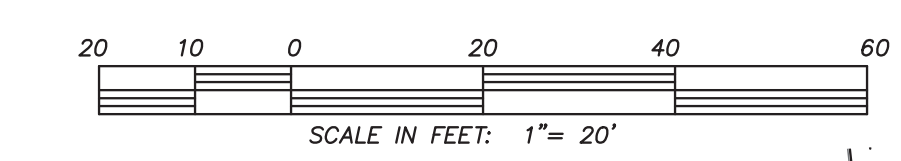
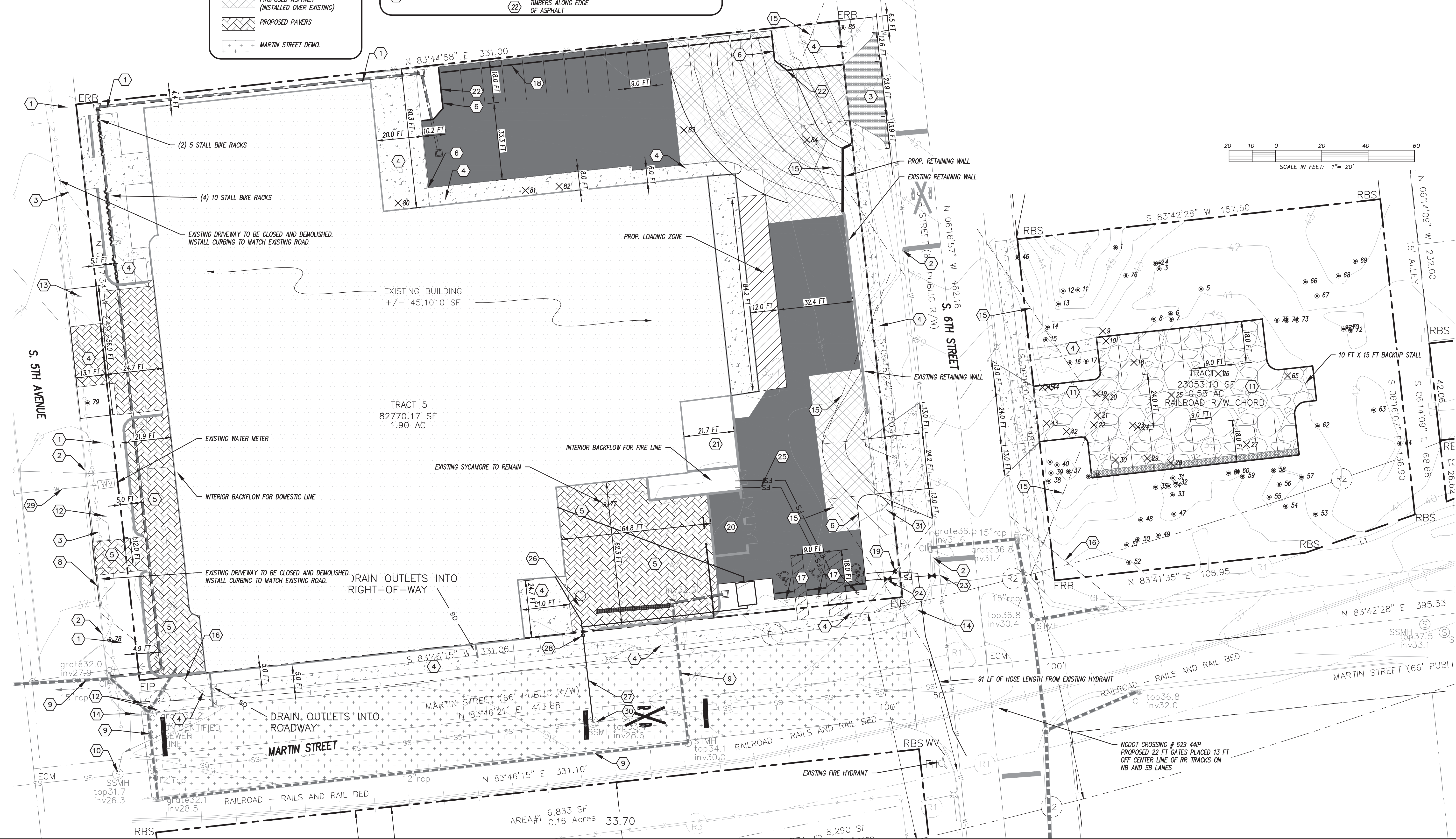
Name: Date:
Planning:
Traffic:
Fire:



Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: Permit #
Signed:

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



CSD ENGINEERING
LICENSE # C-2710
ENGINEERING LAND PLANNING COMMERCIAL / RESIDENTIAL
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

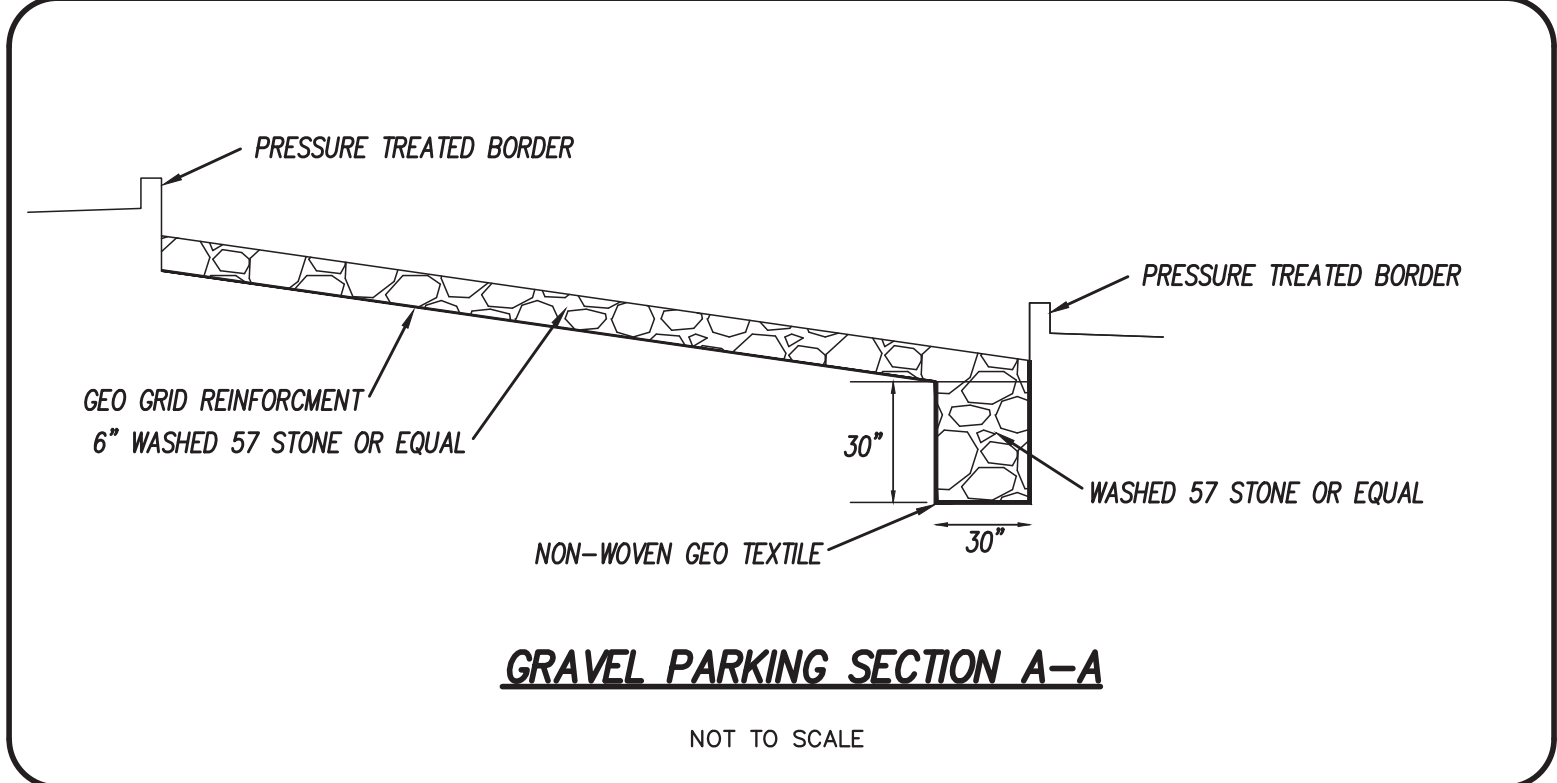
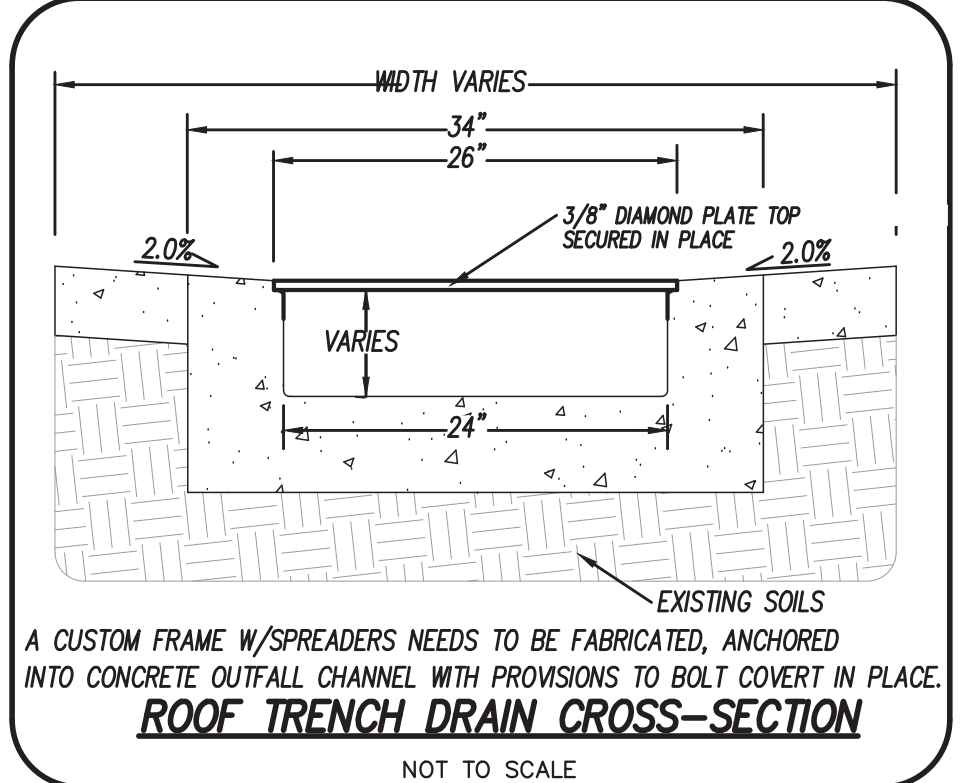
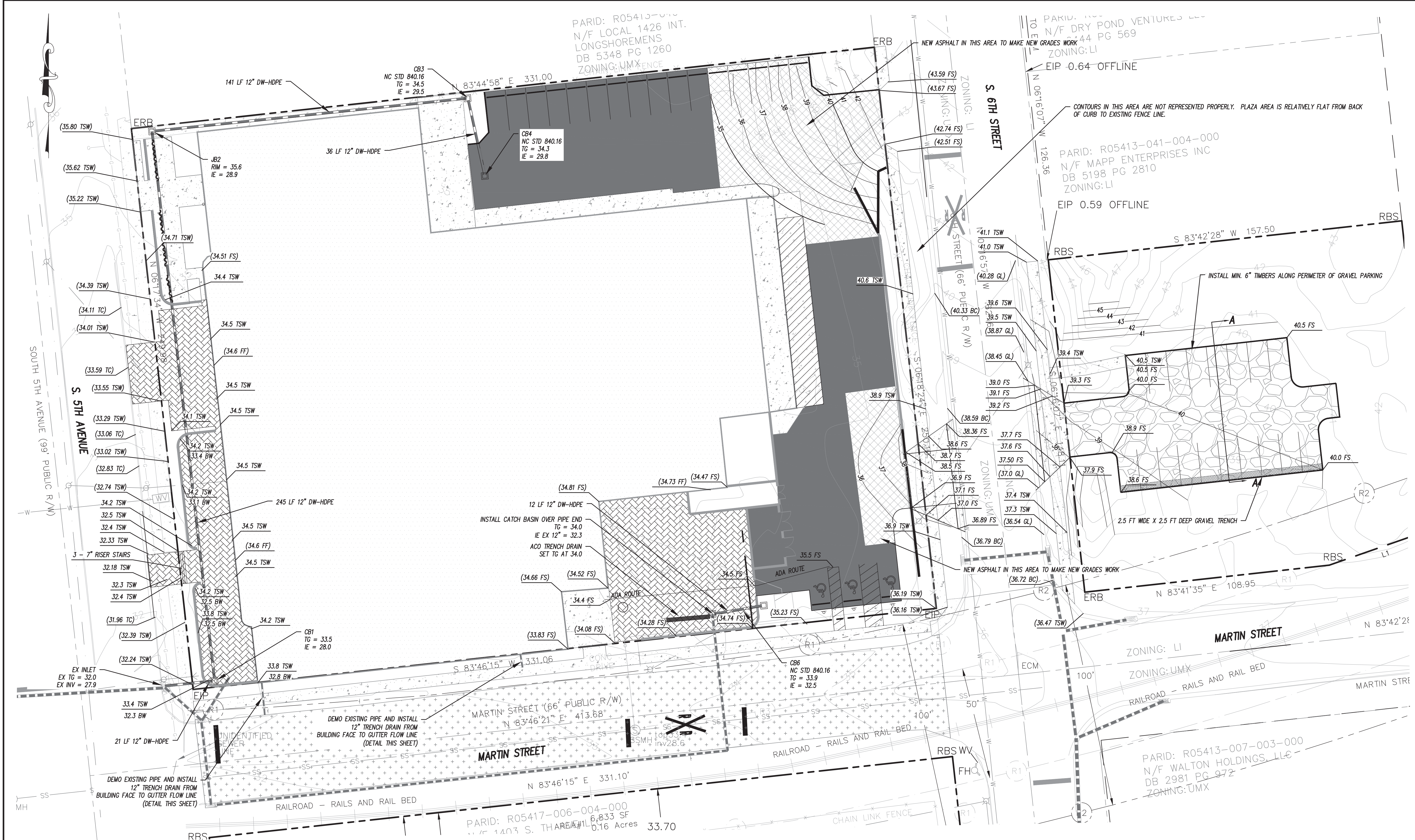
SITE PLAN FOR SEASO

SITE PLAN for SEASO
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: GREENFIELD GROUP, LLC
913 PATE LANE, STREET
RALEIGH, NC 27601

Table with columns: REV. NO., REV. DATE, BY, REMARKS

Table with columns: REV. NO., REV. DATE, BY, REMARKS. Includes revisions for TRC COMMENTS, SECOND ENTRANCE, WATER AND SEWER UTILITIES, CONSTRUCTION RELEASE, SIDEWALK TO GRAVEL LOT.

DATE: 5-27-22
HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 20-0515



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

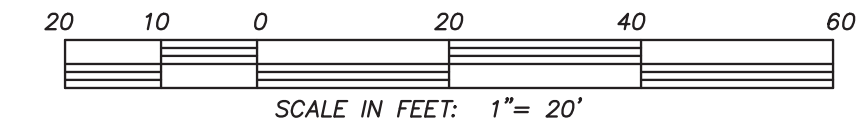
CITY OF WILMINGTON
NORTH CAROLINA

Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

GRADING AND DRAINAGE PLAN

SEASO

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
GREENFIELD GROUP, LLC
913 CAYLE HILL STREET
RALEIGH, NC 27601

REV. NO.	DATE	BY	REMARKS
4	8-22-22	RLW	ADDED SECOND ENTRANCE ON 6TH STREET
3	4-20-22	RLW	CONSTRUCTION RELEASE
2	4-12-22	RLW	ADDED SIDEWALK TO GRAVEL LOT
1	1-11-22	RLW	REVISED PER TRC COMMENTS

DATE: 11-09-21
HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A

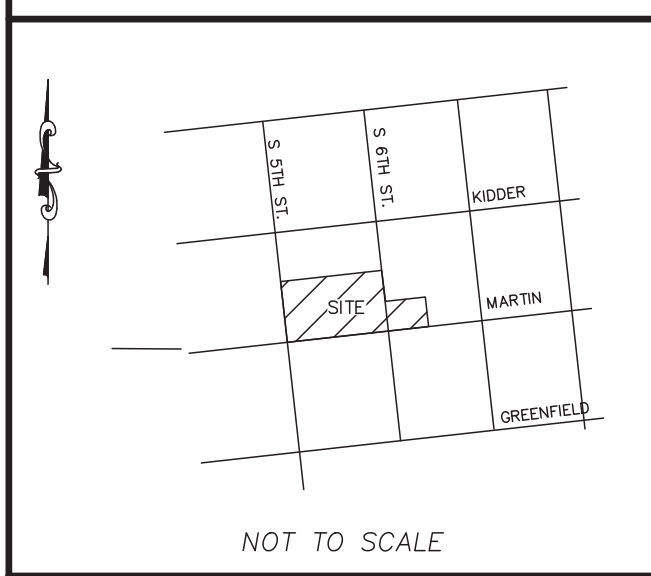
DRAWN BY: RLW
CHECKED BY: HSR

PROJECT NO.: 20-0515

REV. NO.	DATE	BY	REMARKS
4	8-22-22	RLW	ADDED SECOND ENTRANCE ON 6TH STREET
3	4-20-22	RLW	CONSTRUCTION RELEASE
2	4-12-22	RLW	ADDED SIDEWALK TO GRAVEL LOT
1	1-11-22	RLW	REVISED PER TRC COMMENTS

Sheet No. **7** of **12**

LOCATION MAP



NOT TO SCALE

LEGEND

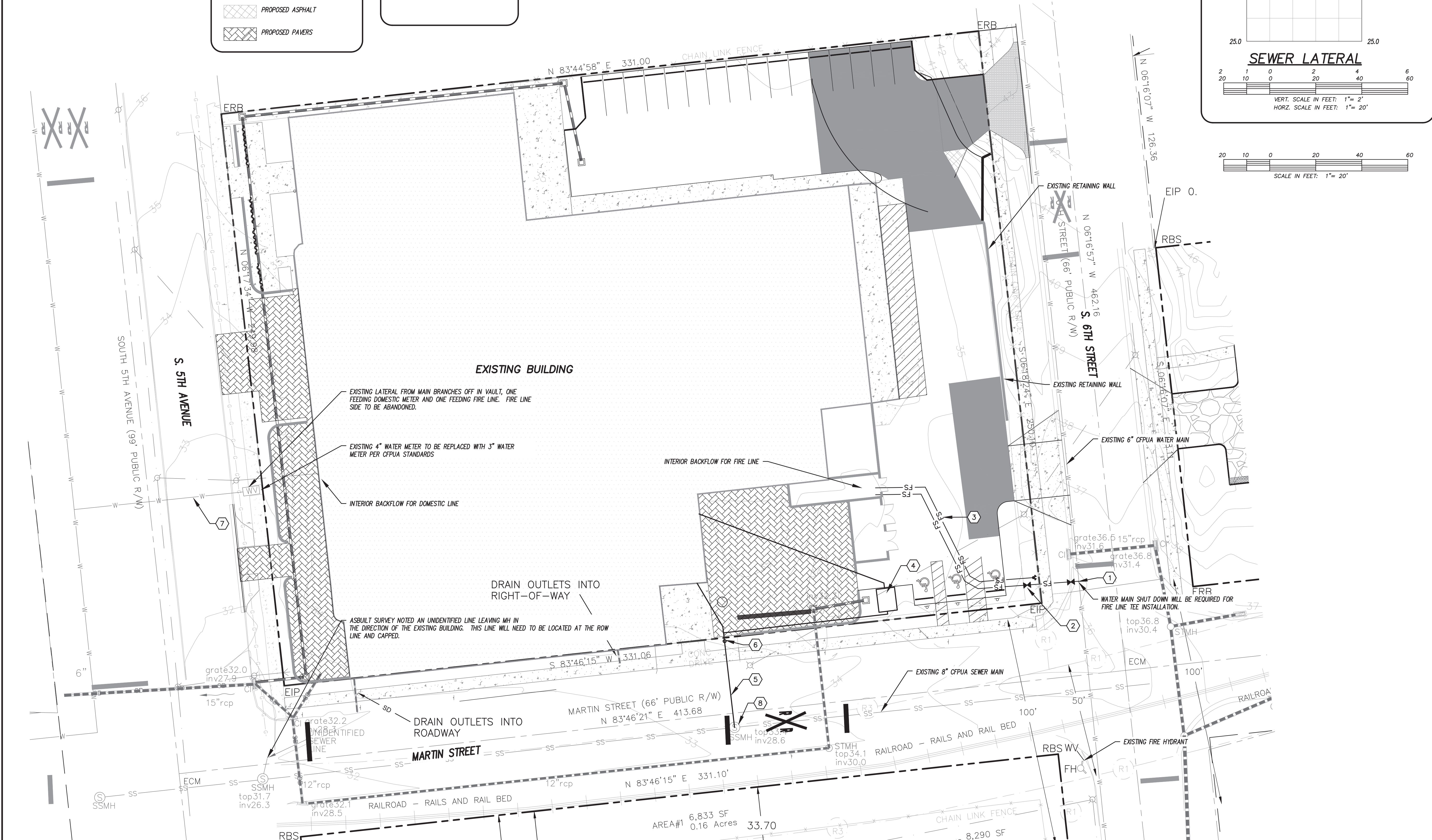
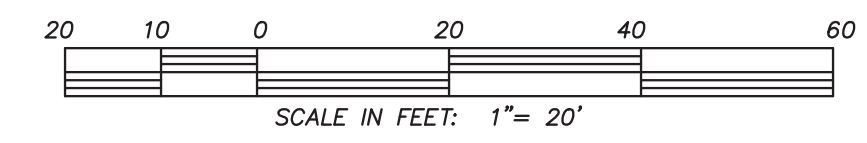
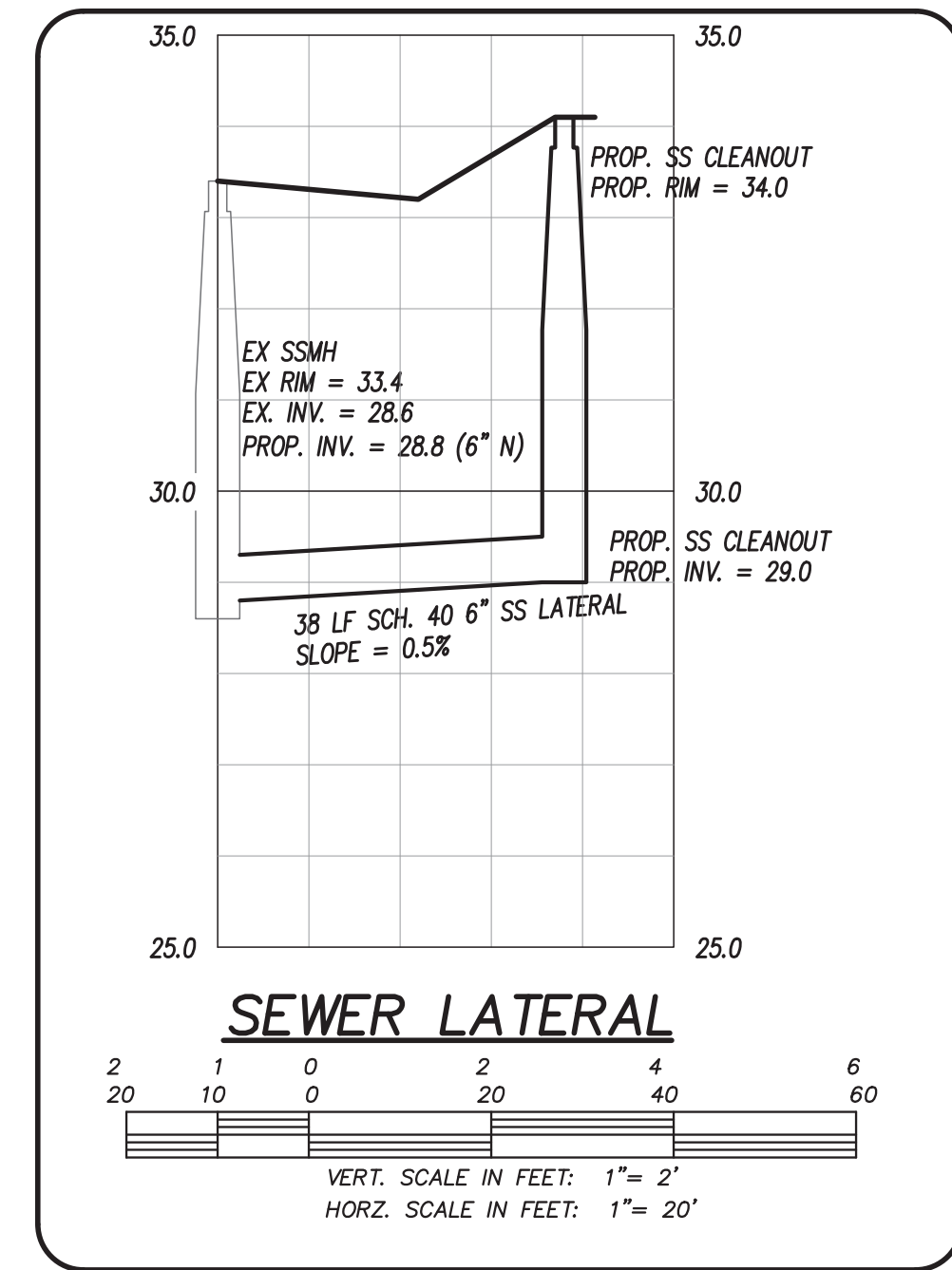
- EXISTING BOUNDARY
- ▨ EX BUILDING
- ▨ EX CONCRETE
- ▨ EX DRIVEWAY
- ▨ EX ASPHALT TO REMAIN
- W — EXISTING WATER
- SS — EXISTING SEWER
- ⊕ EXISTING FIRE HYDRANT
- EXISTING CONTOUR
- ▨ EXISTING STORM DRAIN
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED PAVERS

KEYNOTES:

- ① 6" X 6" CUT IN TEE (1) 6" GATE VALVE
- ② 6" DELINEATION VALVE
- ③ 6" FIRE LINE
- ④ GREASE INTERCEPTOR (DESIGN BY OTHERS)
- ⑤ 6" SEWER LATERAL
- ⑥ SEWER CLEANOUT
- ⑦ EXISTING 4" LATERAL
- ⑧ CORE EXISTING SSMH FOR NEW 6" LATERAL

CFPUA NOTES:

1. ANY EXISTING WATER AND SEWER SERVICES NOT BEING USED BY THIS DEVELOPMENT MUST BE ABANDONED PER CFPUA SPECIFICATIONS.
2. SUBMIT ALL GREASE INTERCEPTOR AND BACKFLOW INFORMATION TO CFPUA COMMUNITY COMPLIANCE FOR REVIEW AND APPROVAL.



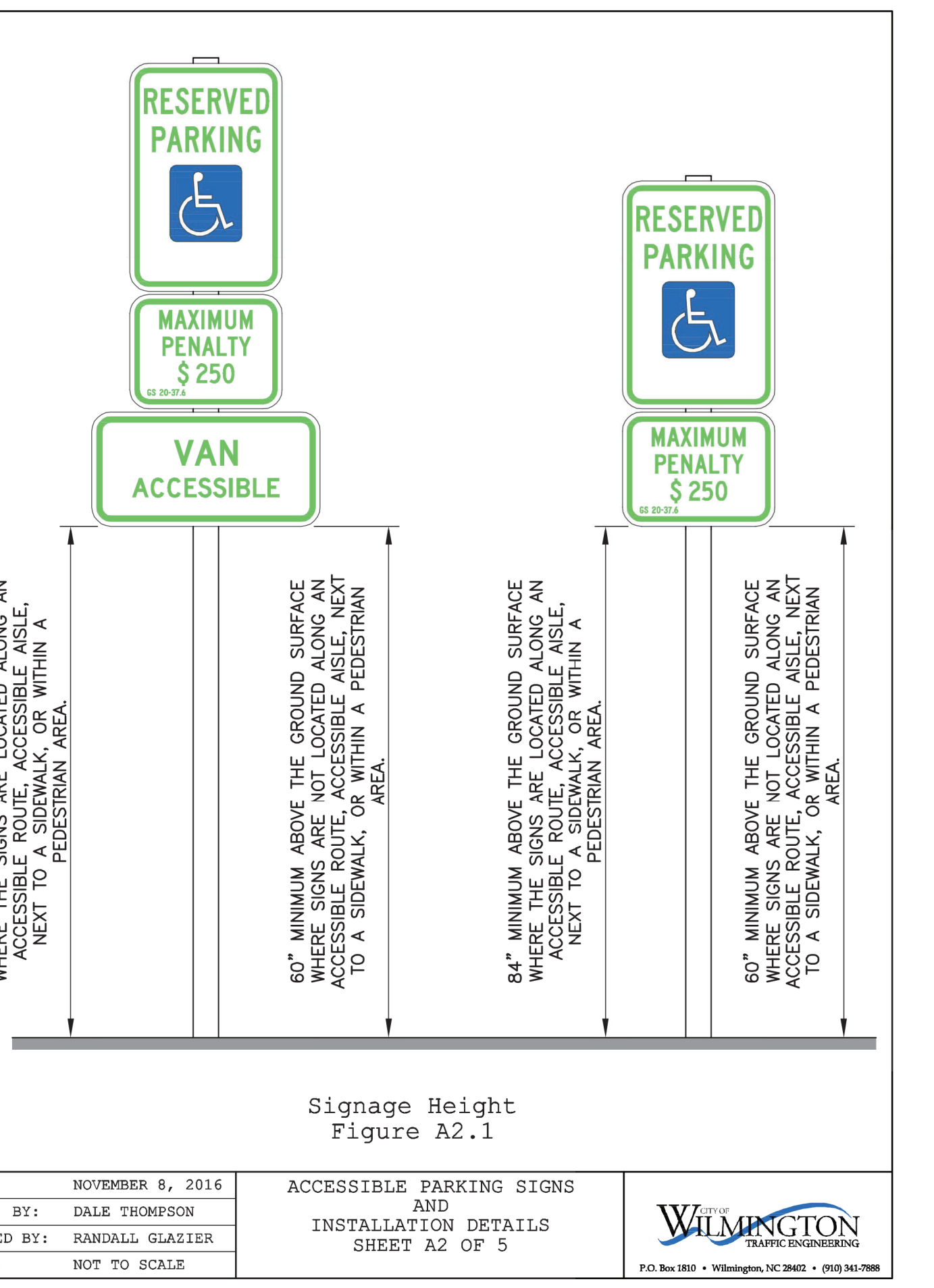
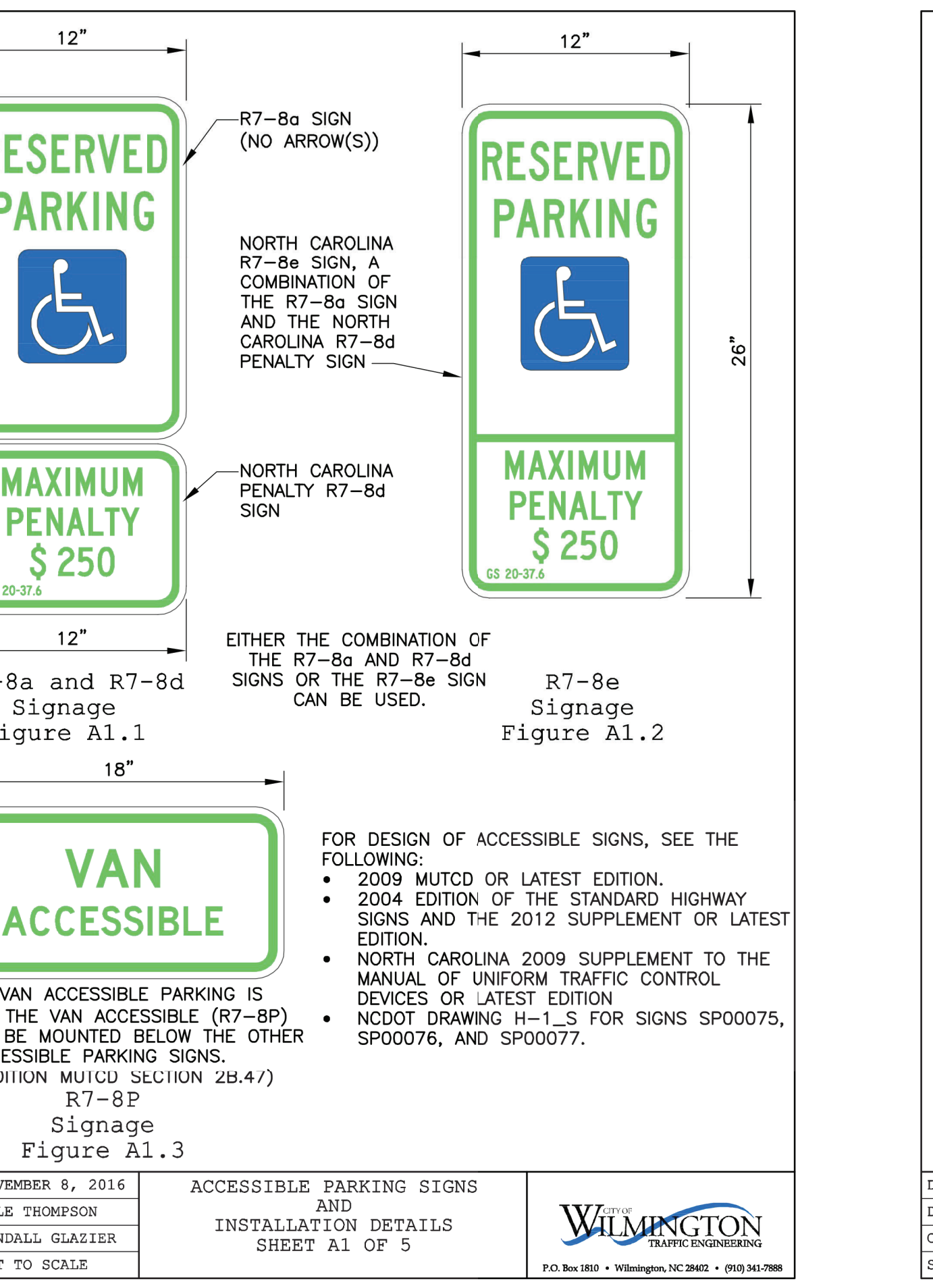
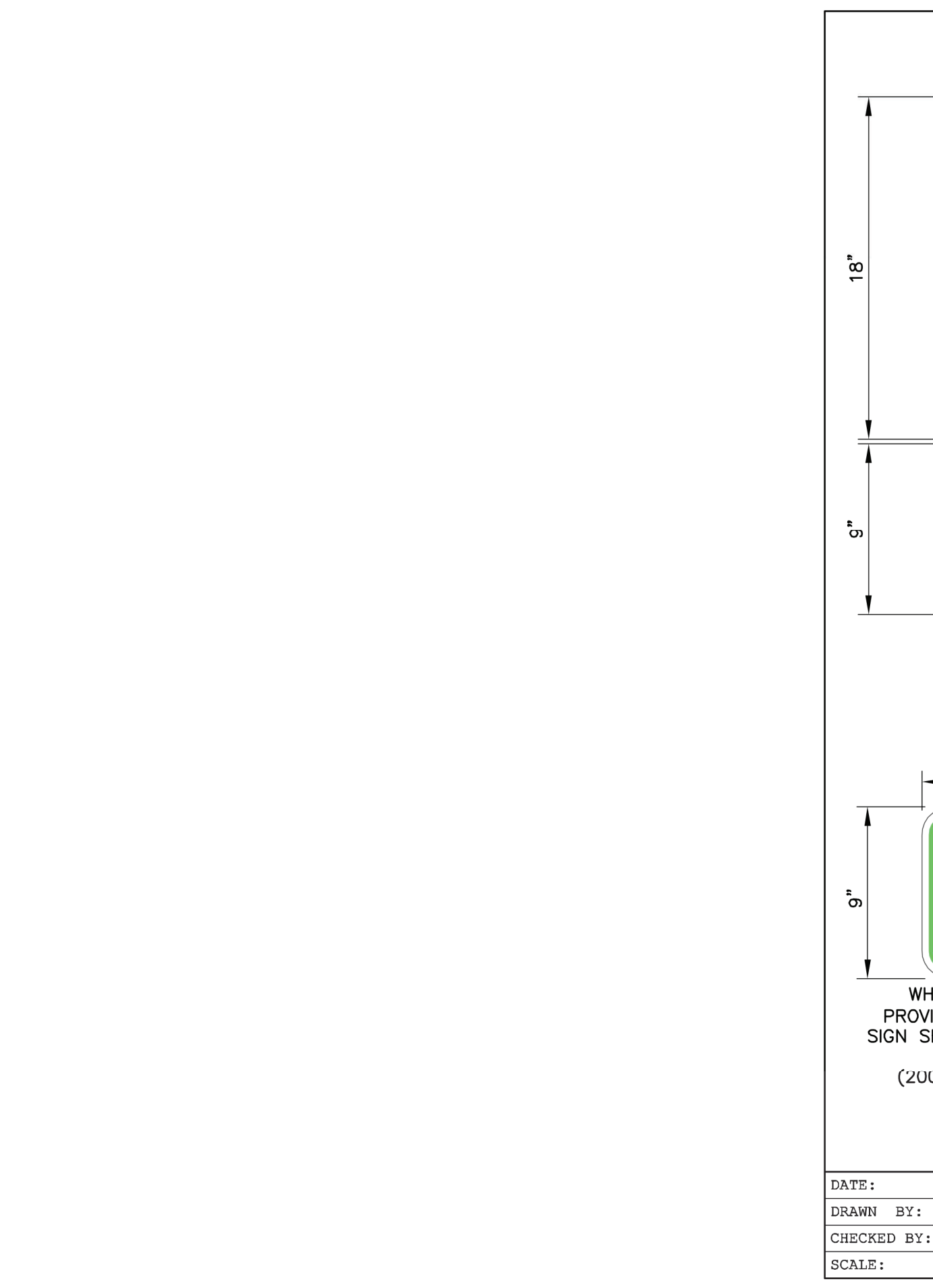
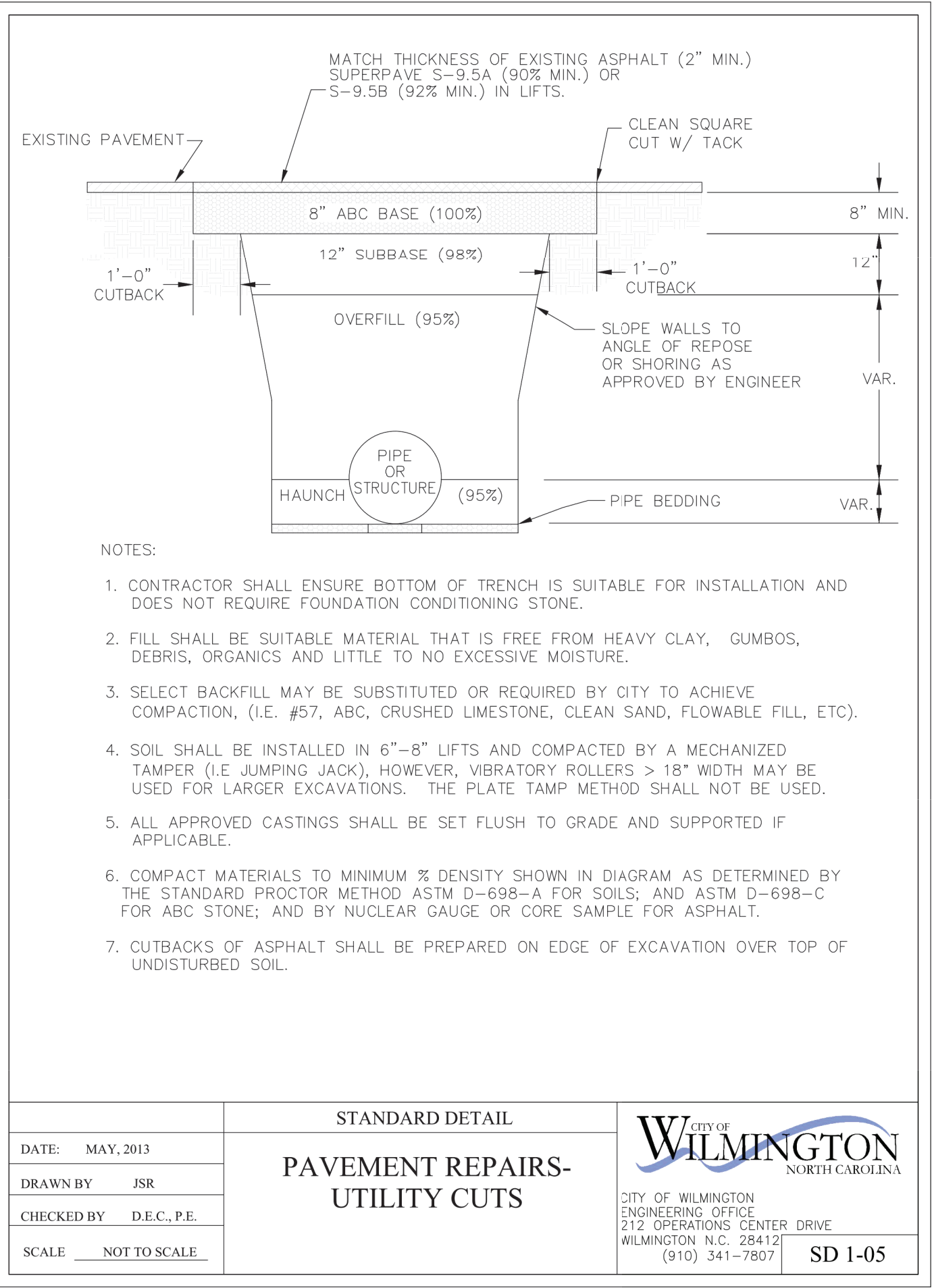
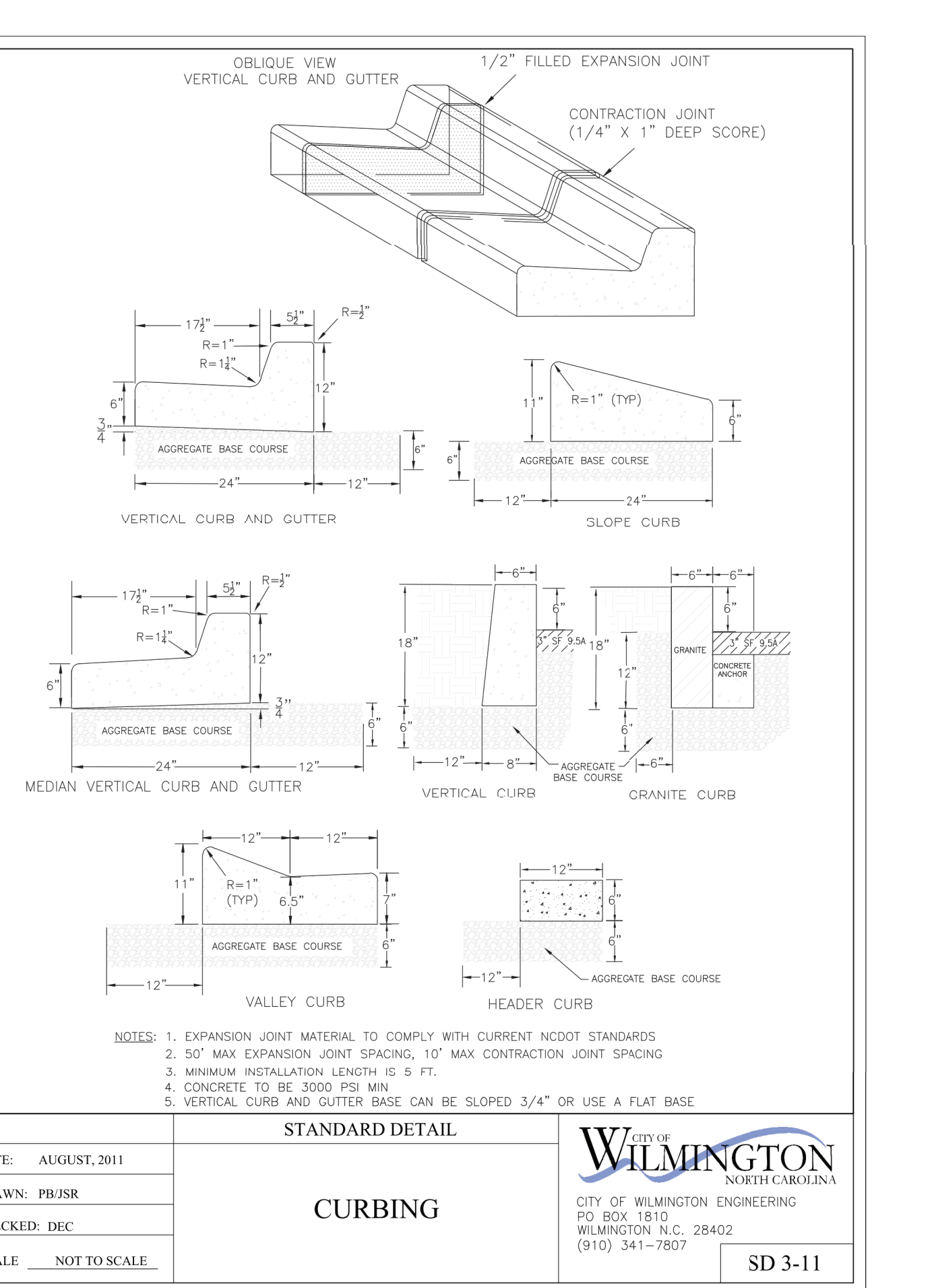
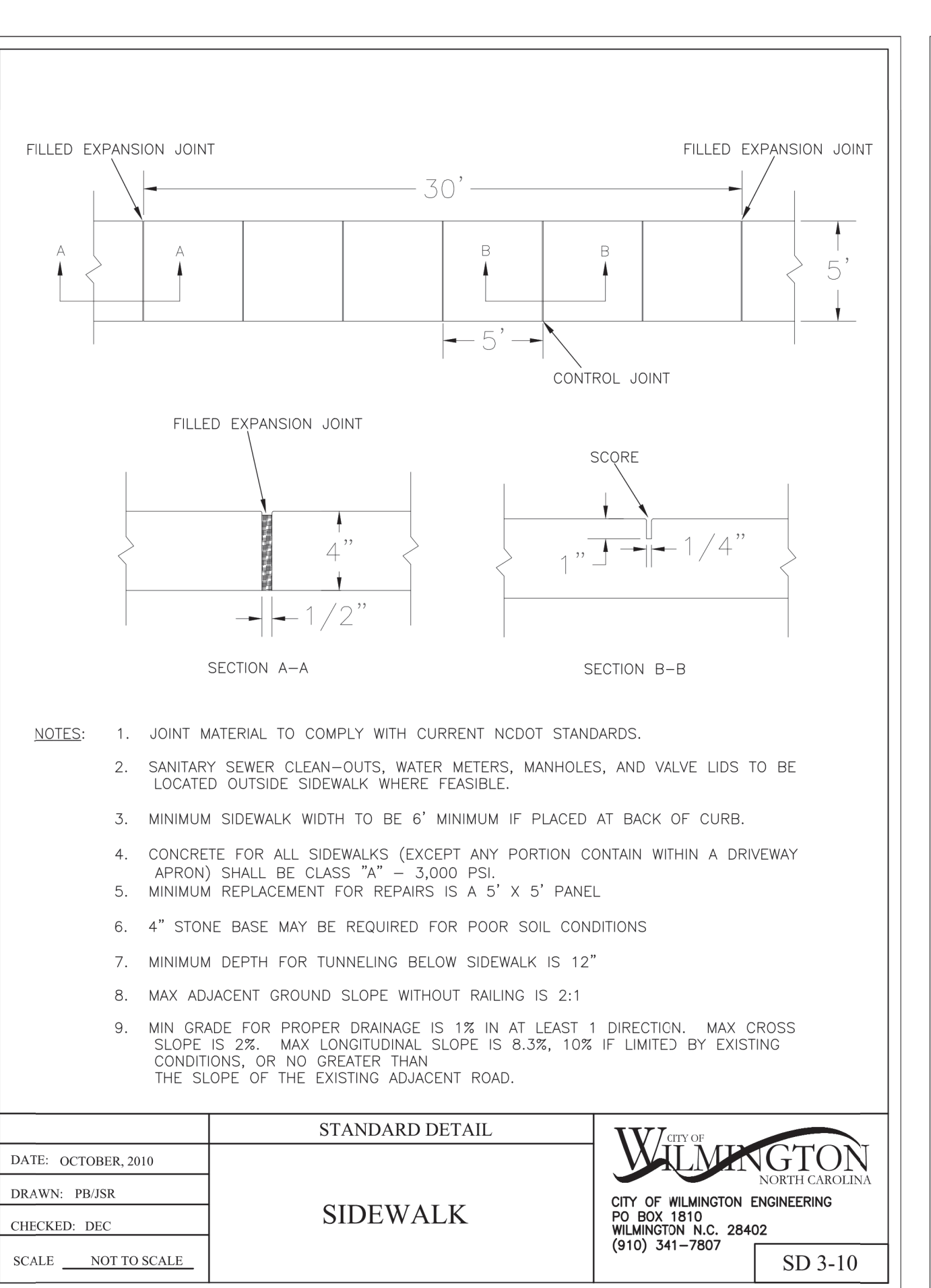
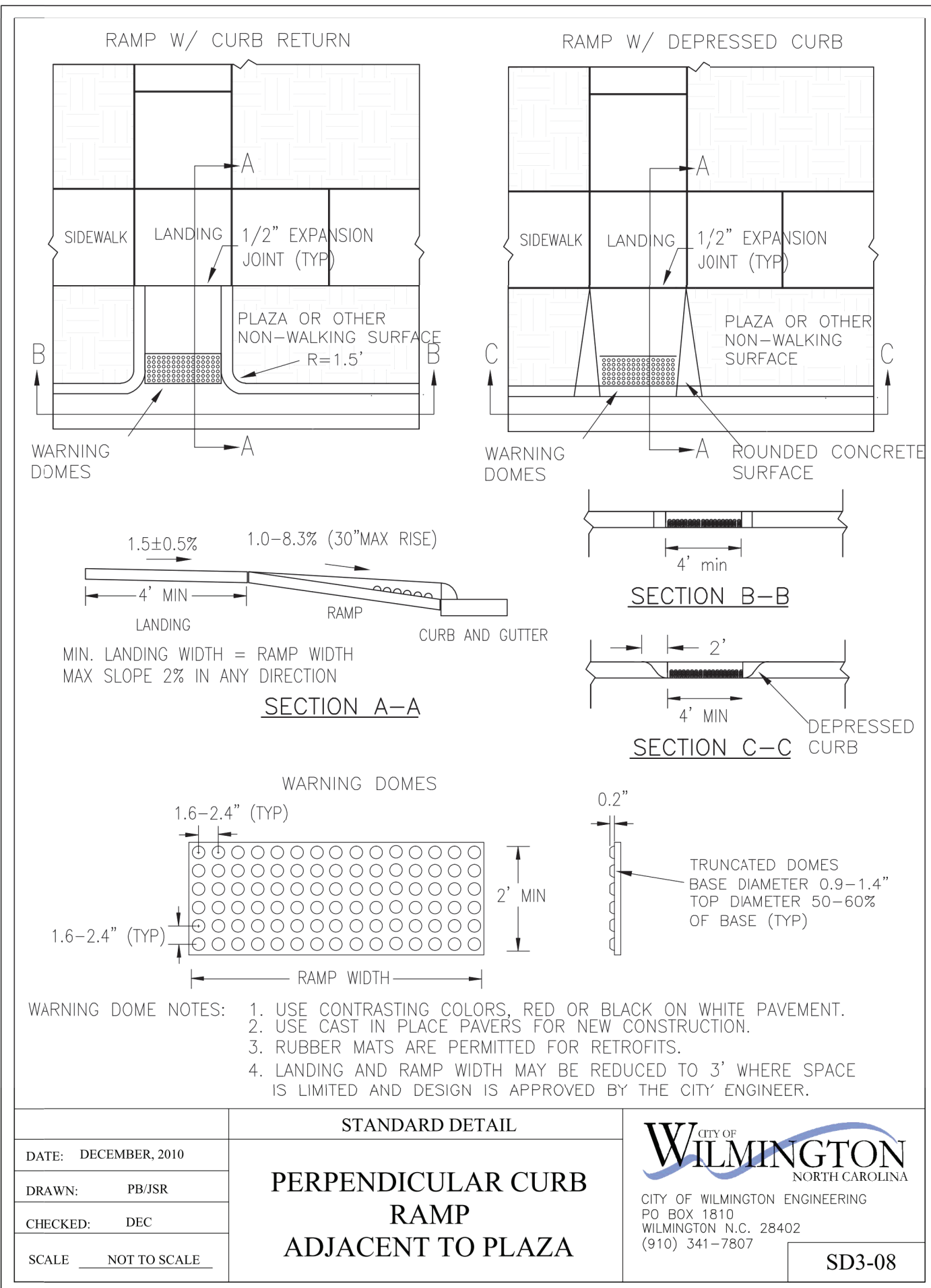
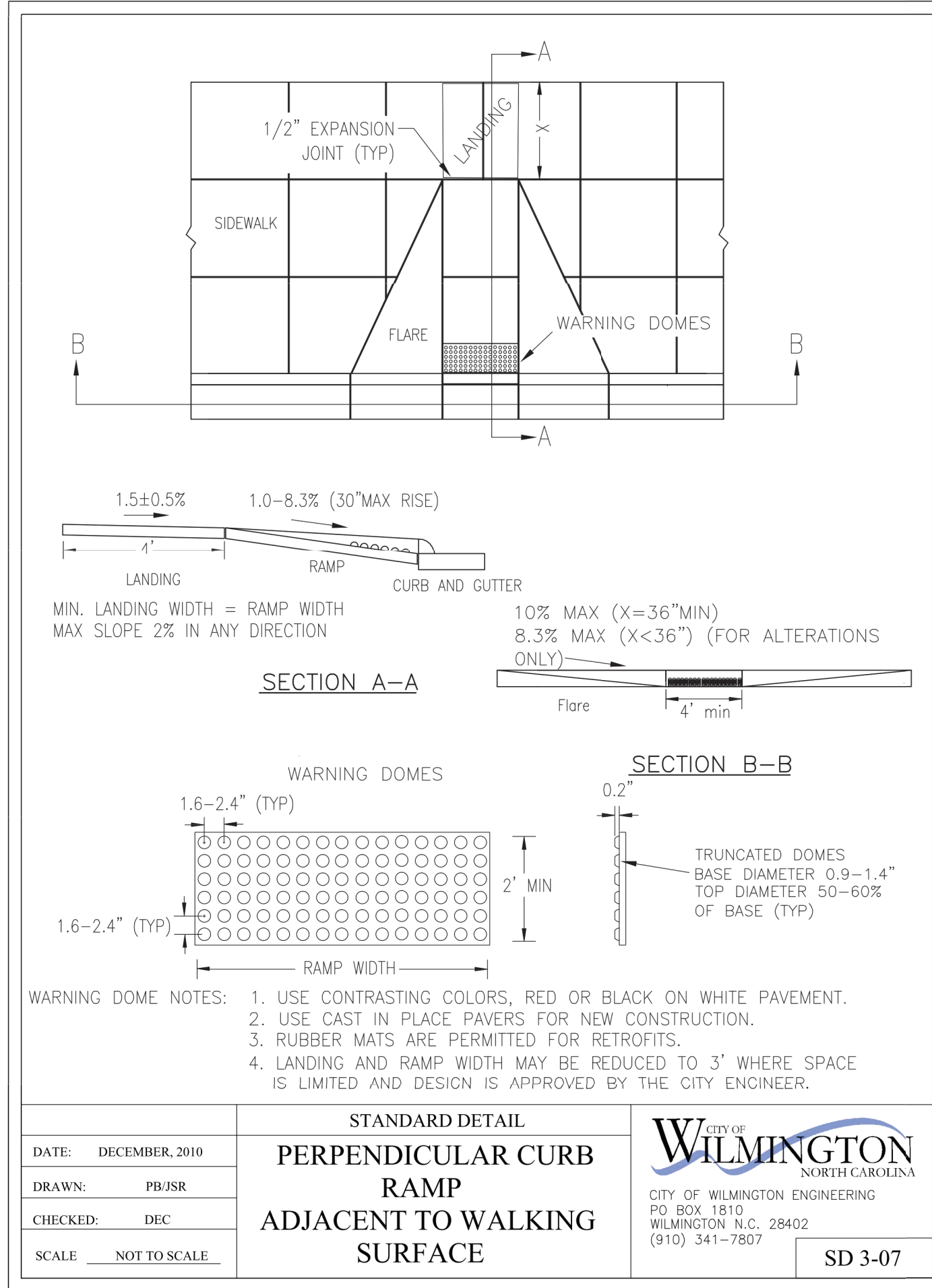
CSD ENGINEERING
 LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

WATER SEWER UTILITY PLAN
SEASO
 1315 S. 5TH STREET

WATER SEWER UTILITY PLAN
SEASO
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: GREENFIELD GROUP, LLC
 913 LAUREL HILL STREET
 RALEIGH, NC 27601

REV. NO.	DATE	BY	REMARKS
2	8-22-22	RLW	REVISED SHEET NUMBER
1	5-23-22	RLW	REVISED PER CFPUA COMMENTS

DATE: 5-12-22
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 20-0515



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



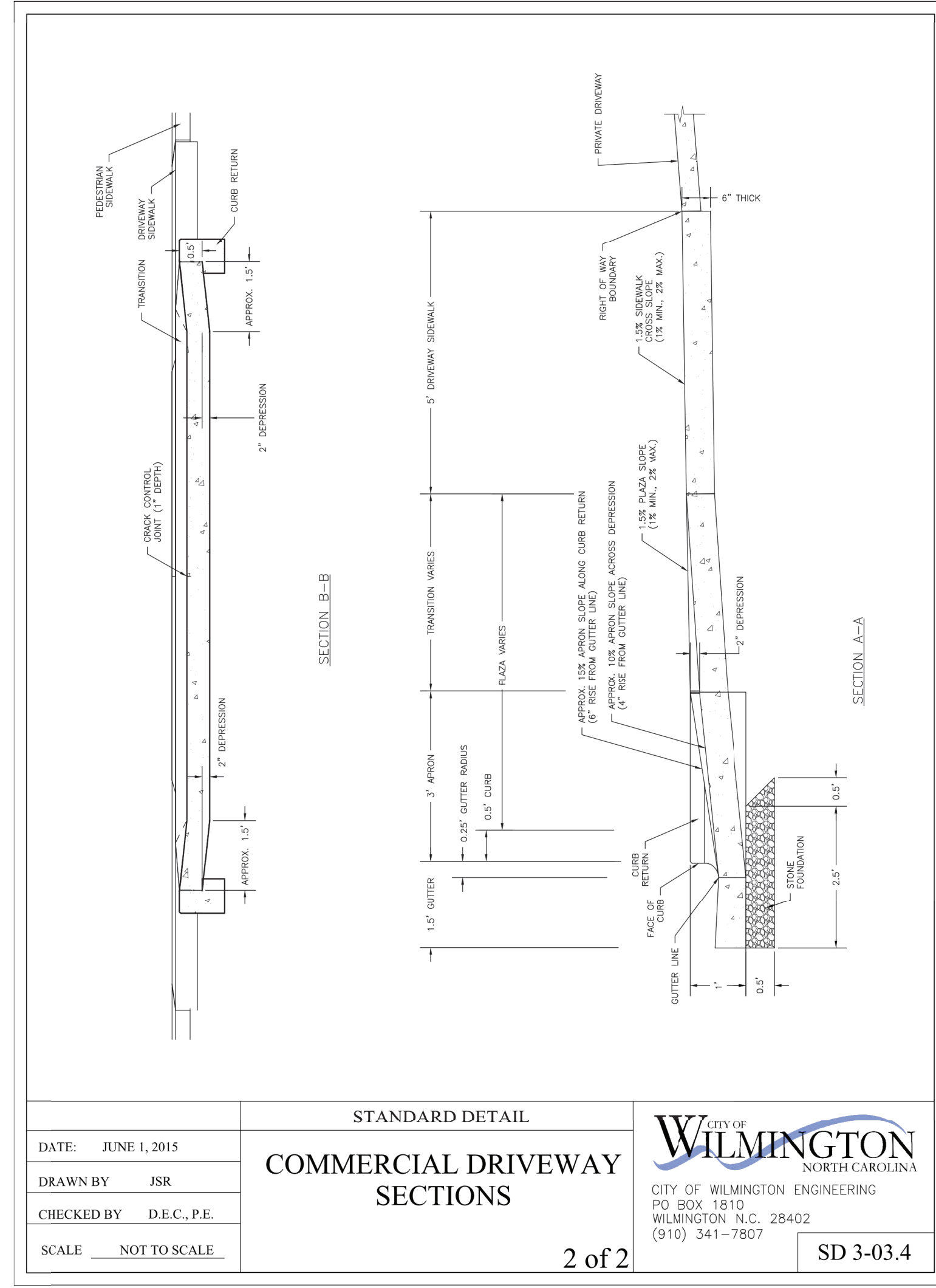
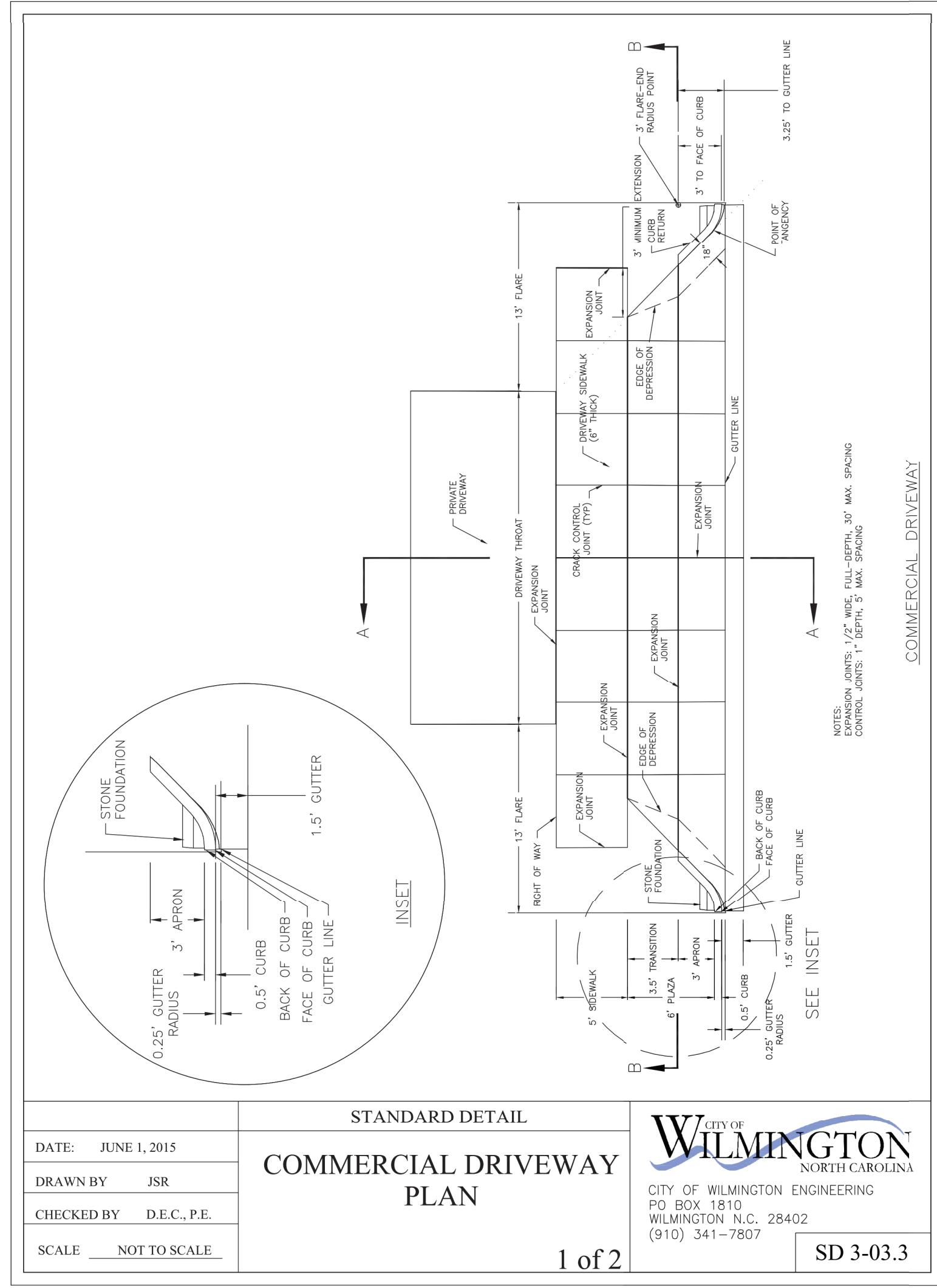
SITE DETAILS FOR SEASO

DATE: 11-09-21
 HORZ. SCALE: N/A
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 20-0515

SITE DETAILS for SEASO
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
 GREENFIELD GROUP, LLC
 913 FAIRVIEW LANE, 5 STREET
 RALEIGH, NC 27601

REV.	NO.	REMARKS	DATE
2	1	REVISED SHEET NUMBER	8-22-22
1	1	COW CONSTRUCTION RELEASE	4-20-22



CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE DETAILS FOR SEASO

The City will be required to coordinate with other departments, such as Public Works, for the installation of water and sewer lines. The City will be responsible for the installation of water and sewer lines. The City will be responsible for the installation of water and sewer lines.

SITE DETAILS for SEASO
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

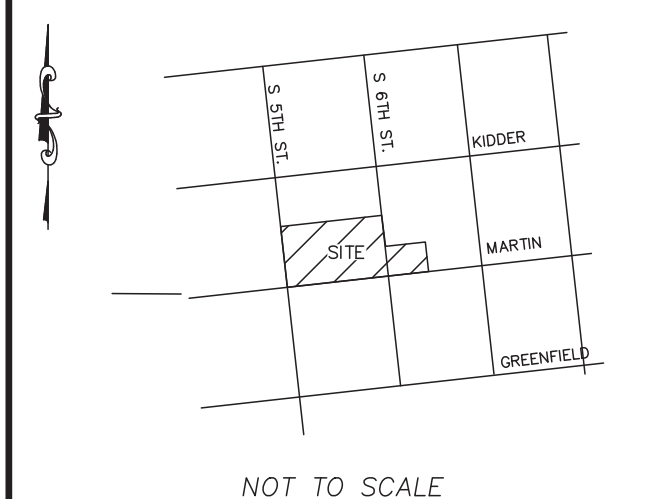
OWNER:
GREENFIELD GROUP, LLC
913 FAIRVIEW COLLEGE STREET
RALEIGH, NC 27601

REV. NO.	REMARKS	BY	DATE
2	REVISED SHEET NUMBER	RLW	8-22-22
1	CONSTRUCTION RELEASE	RLW	4-20-22

DATE: 11-09-21
HORIZ. SCALE: N/A
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 20-0515

Sheet No. **10** of **12**

LOCATION MAP



NOT TO SCALE

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LANDSCAPE CALCULATIONS:

- STREET YARD LANDSCAPING**
1 STREET TREE FOR EVERY 30 LF
5TH STREET = 250 LF / 30 = 8.3
6 TREES PROPOSED, 2 EXISTING TREES TO REMAIN
MARTIN STREET = 331 LF / 30 = 11
11 TREES PROPOSED
6TH STREET = (250 LF - 48) / 30 = 6.7
6 TREES PROPOSED, 1 EXISTING TREE TO REMAIN
- 6TH STREET LI ZONING = 25 MULTIPLIER**
148 X 24 = 124
124 X 25 = 3,100 SF
3,100 / 600 = 5.2
EXISTING PLANTINGS TO BE UTILIZED TO MEET REQUIREMENTS
- PARKING ISLAND LANDSCAPING *** SEC. 18-481**
ALL PLANTING ISLANDS TO HAVE AT LEAST 2 SMALL MATURE SHADE TREES OR ONE CANOPY TREE
- PARKING AREA SHADE CALCULATIONS *** SEC. 18-481:**
5,694 SF TOTAL PARKING AREA; 20% SHADE REQ'D; 5,694 * 0.20 = 1,139 SF OF REQUIRED SHADE.
1,162 SF OF SHADE AREA PROVIDED AT MATURITY.

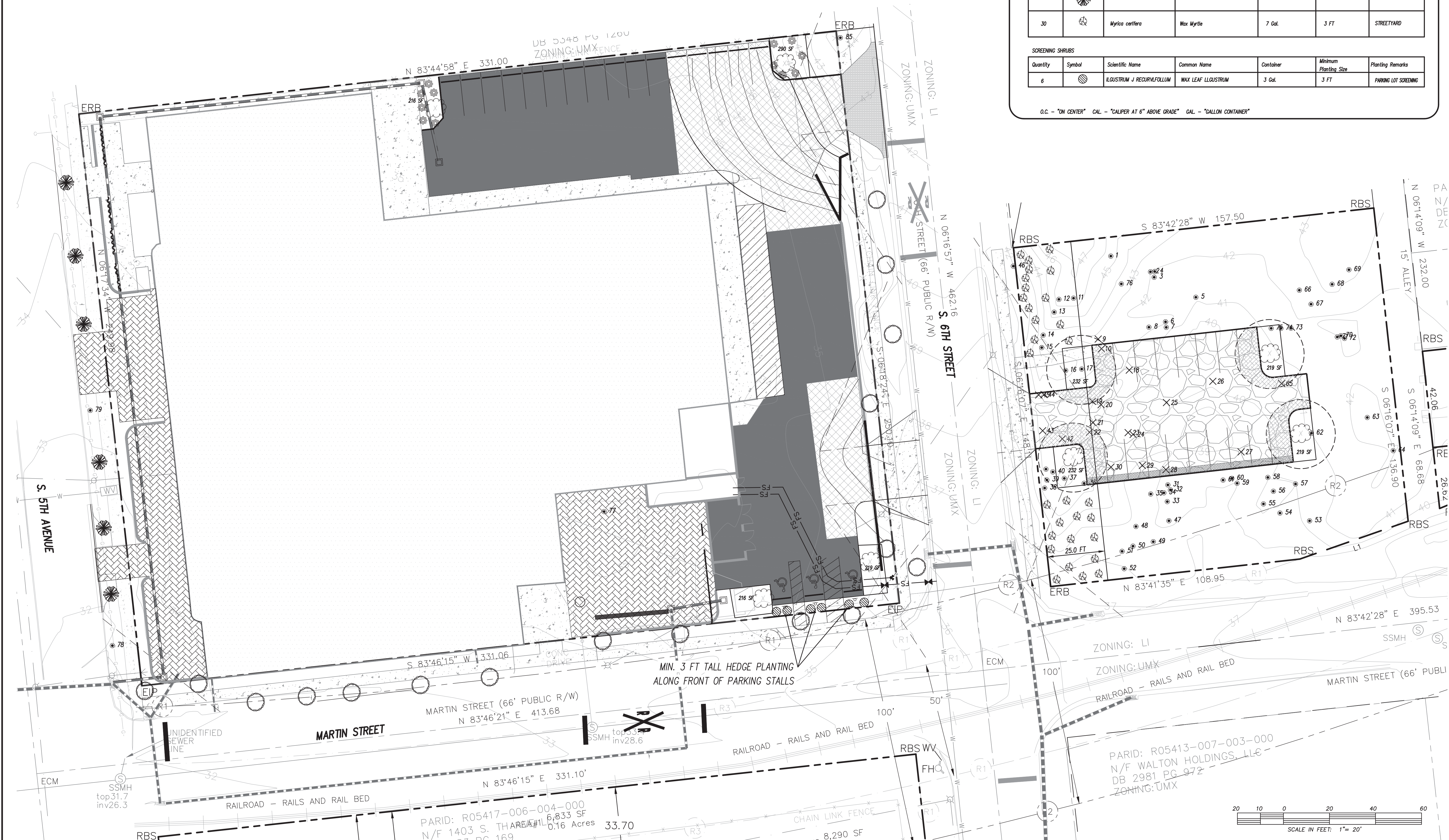
Proposed Plant Table

Quantity	Symbol	Scientific Name	Common Name	Container	Minimum Planting Size	Planting Remarks
12		<i>Ilex vomitoria</i>	Dwarf Yaupon Holly	3 Gal.	3 FT	PARKING LOT
9		<i>Ulmus parvifolia</i>	Chinese Elm	B & B	2-2.5" CAL	PARKING LOT

Quantity	Symbol	Scientific Name	Common Name	Container	Minimum Planting Size	Planting Remarks
17		<i>quercus nuttallii</i>	Nuttall Oak	B & B	2-2.5" CAL	STREETYARD
6		<i>QUERCUS VIRGINIANA</i>	Southern Live Oak	B & B	2-2.5" CAL	STREETYARD
30		<i>Myrica carterii</i>	Wax Myrtle	7 Gal.	3 FT	STREETYARD

Quantity	Symbol	Scientific Name	Common Name	Container	Minimum Planting Size	Planting Remarks
6		<i>LIGUSTRUM J. RECURVIFOLIUM</i>	WAX LEAF LIGUSTRUM	3 Gal.	3 FT	PARKING LOT SCREENING

O.C. - "ON CENTER" CAL - "CALIPER AT 6" ABOVE GRADE" GAL - "GALLON CONTAINER"



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

LANDSCAPE PLAN
SEASO

LANDSCAPE PLAN
SEASO

LANDSCAPE PLAN
SEASO

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
GREENFIELD GROUP, LLC
913 FAIRFACIE ALLEY, STREET
RALEIGH, NC 27601

REV.	NO.	REMARKS	DATE
5		REVISED PER TRC COMMENTS	12-7-22
4		REVISED 6TH STREET ENTRANCE	8-22-22
3		REVISED PER TRC COMMENTS	4-20-22
2		REVISED PER TRC COMMENTS	4-12-22
1		REVISED PER TRC COMMENTS	1-11-22

REV.	NO.	REMARKS	DATE
5		REVISED PER TRC COMMENTS	11-09-21
4		REVISED 6TH STREET ENTRANCE	8-22-22
3		REVISED PER TRC COMMENTS	4-20-22
2		REVISED PER TRC COMMENTS	4-12-22
1		REVISED PER TRC COMMENTS	1-11-22

DATE: 11-09-21

HORIZ. SCALE: 1" = 20'

VERT. SCALE: N/A

DRAWN BY: RLW

CHECKED BY: HSR

PROJECT NO.: 20-0515

Sheet No. **1** of **1**